

# COURTYARD BY MARRIOTT HOTEL- KELOWNA AIRPORT

DRAWING LIST:

ARCHITECTURAL: 100 COVER PAGE 101 SITE PHOTOS 200 FIRST FLOOR / LOBBY LEVEL PLAN 201 SECOND FLOOR PLAN 202 THIRD FLOOR PLAN

MECHANICAL: 700 CRITERIA PLAN- HVAC 701 CRITERIA PLAN- HVAC- LOBBY AREAS 710 CRITERIA PLAN- PLUMBING

ELECTRICAL: 720CRITERIA PLAN ELECTRICAL 721 CRITERIA PLAN- ELECTRICAL- TYPICAL GUESTROOM FLOOR

LANDSCAPE: 800 SITE CONTEXT PLAN 810 SITE DEVELOPMENT PLAN 820 PLANTING PLAN 830 IRRIGATION PLAN 840 LANDSCAPE DETAILS

#### Revisions

01	ISSUED FOR DP	2022.04.05
No.	Revision / Issued	yyyy.mm.dd

IT IS THE CONTRACTORS RESPONSIBILITY TO:

- USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING.
- VERIFY ALL DIMENSIONS AT THE SITE.
- REPORT ALL DISCREPANCIES TO THE LANDSCAPE
- ARCHITECT AND AGREE BEFORE PROCEEDING • DETERMINE LOCATION OF ALL EXISTING SERVICES PRIOR TO EXCAVATION.

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS SIGNED BY THE LANDSCAPE ARCHITECT.

Stamps

Project COURTYARD MARRIOTT - KELOWNA

3508 FLEET CT

633-003

Drawing Title

Project No.

### COVER SHEET



Date	
	2020-04-05
Scale	
	AS NOTED
Drawn by	
_	GB/TN
Checked by	
	WP
Approved by	
	WP
Drawing No.	

100



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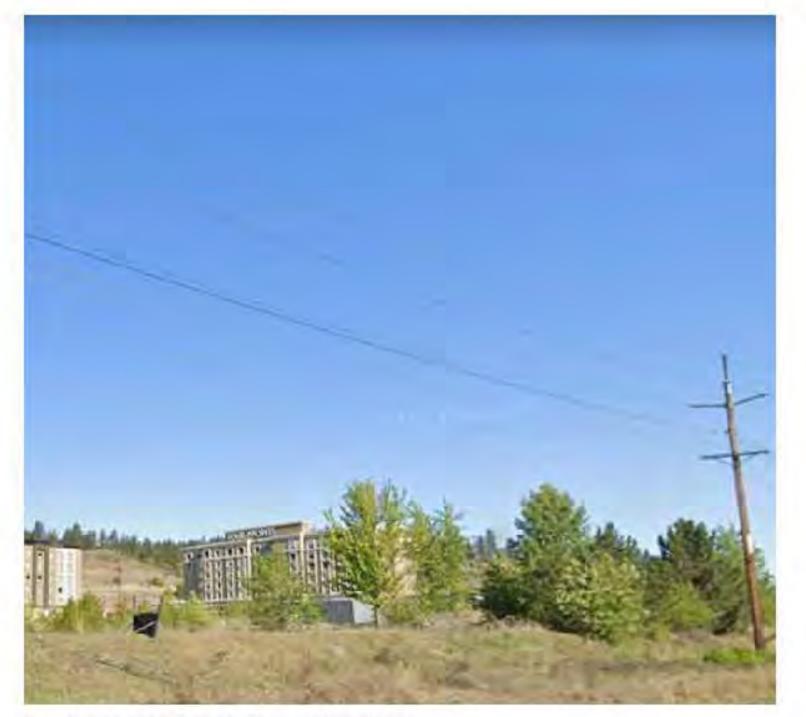


1. SITE LOCATION PLAN VIEW





2. SITE LOCATION BIRDS EYE VIEW



4. HIGHWAY 97 SOUTHEAST CORNER

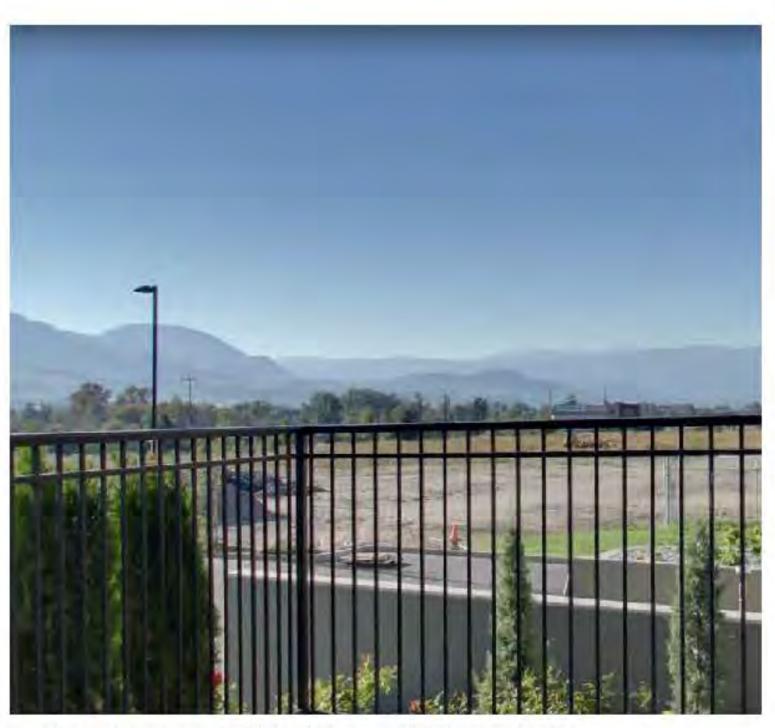


5. HIGHWAY 97 NORTHEAST CORNER





3. NORTHWEST CORNER FACING THE SITE



6. NORTHEAST CORNER FROM ADJACENT PROPERTY

#### Revisions

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01	ISSUED FOR DP	2022.04.05
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COURTYARD MARRIOTT - KELOWNA

3508 FLEET CT

Project No.

633-003

### Drawing Title

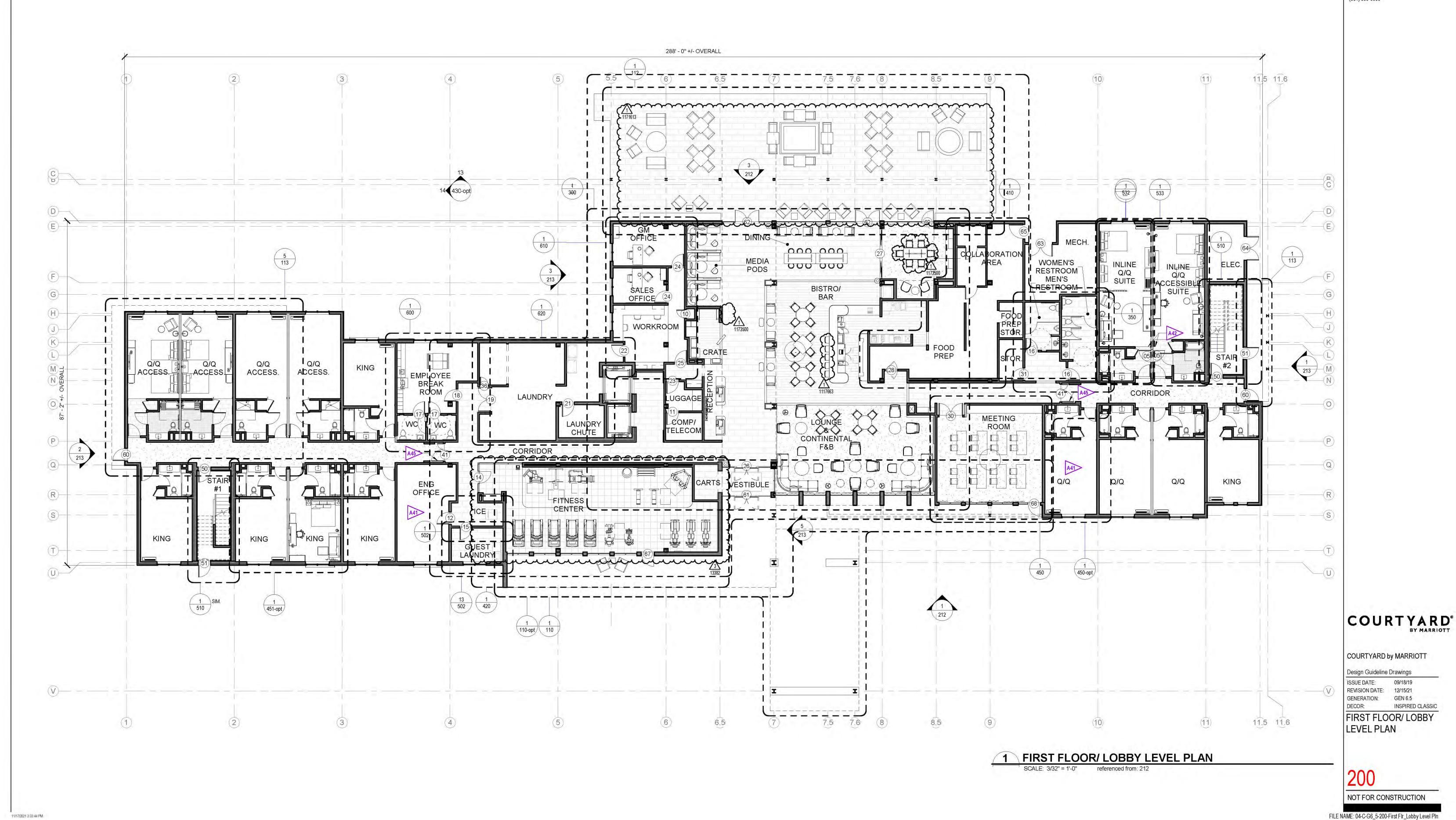
SITE PHOTOS



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Drawing No.	WF
Approved by	
Criscien by	WF
Checked by	OBITI
Drawn by	GB/TN
Scale	AS NOTED
_	2020-04-05
Date	2020 04 05



### **REFERENCE NOTES**

- A. REFER TO DESIGN STANDARDS FOR REQUIREMENTS RELATED TO THIS SHEET. ARCHITECT IS RESPONSIBLE FOR DESIGNING PROJECT IN ACCORDANCE WITH THE ENTIRE DESIGN STANDARDS.
- B. REFER TO DESIGN STANDARDS "ELEVATOR" CHAPTER FOR ELEVATOR PLANNING REQUIREMENTS INCLUDING ELEVATOR TYPE, SIZE, QUANTITY, PERFORMANCE CRITERIA AND FEATURES PER SPECIFIC PROJECT SIZE AND LAYOUT.
- C. REFER TO 300 SERIES DRAWINGS FOR ENLARGED PUBLIC SPACE PLANS AND DETAILS.
- D. REFER TO 500 SERIES FOR GUESTROOM PLANS AND DETAILS.

- GENERAL NOTES
- A. THE LOCATIONS OF ACCESSIBLE UNITS SHOWN ARE SUGGESTED AND MEET THE REQUIREMENTS FOR THE NUMBER OF ACCESSIBLE UNITS IN THE IBC. ACTUAL NUMBERS REQUIRED AND LOCATIONS FOR A SPECIFIC PROJECT ARE TO BE DETERMINED BY THE ARCHITECT OF RECORD.
- B. DESIGN CONSULTANT MUST SUBMIT A COMPREHENSIVE INTERIOR GRAPHIC/SIGNAGE LAYOUT (INCLUDING ELEVATIONS), FULLY COORDINATED WITH ANY ELECTRICAL, ARTWORK OR OTHER WALL-MOUNTED ITEMS, FOR REVIEW AND ACCEPTANCE.
- C. GRID DIMENSIONS BASED ON MAINTAINING 13'-1" MIN. CLEAR WIDTH INSIDE GUESTROOMS USING 6" PARTITIONS FOR NON-LOAD BEARING WALLS AND 8" PARTITIONS FOR LOAD BEARING WALLS. ADJUST GRID DIMENSION AS REQ'D TO MAINTAIN 13'-1" CLEAR WIDTH IN GUESTROOMS.

### CRITERIA NOTES

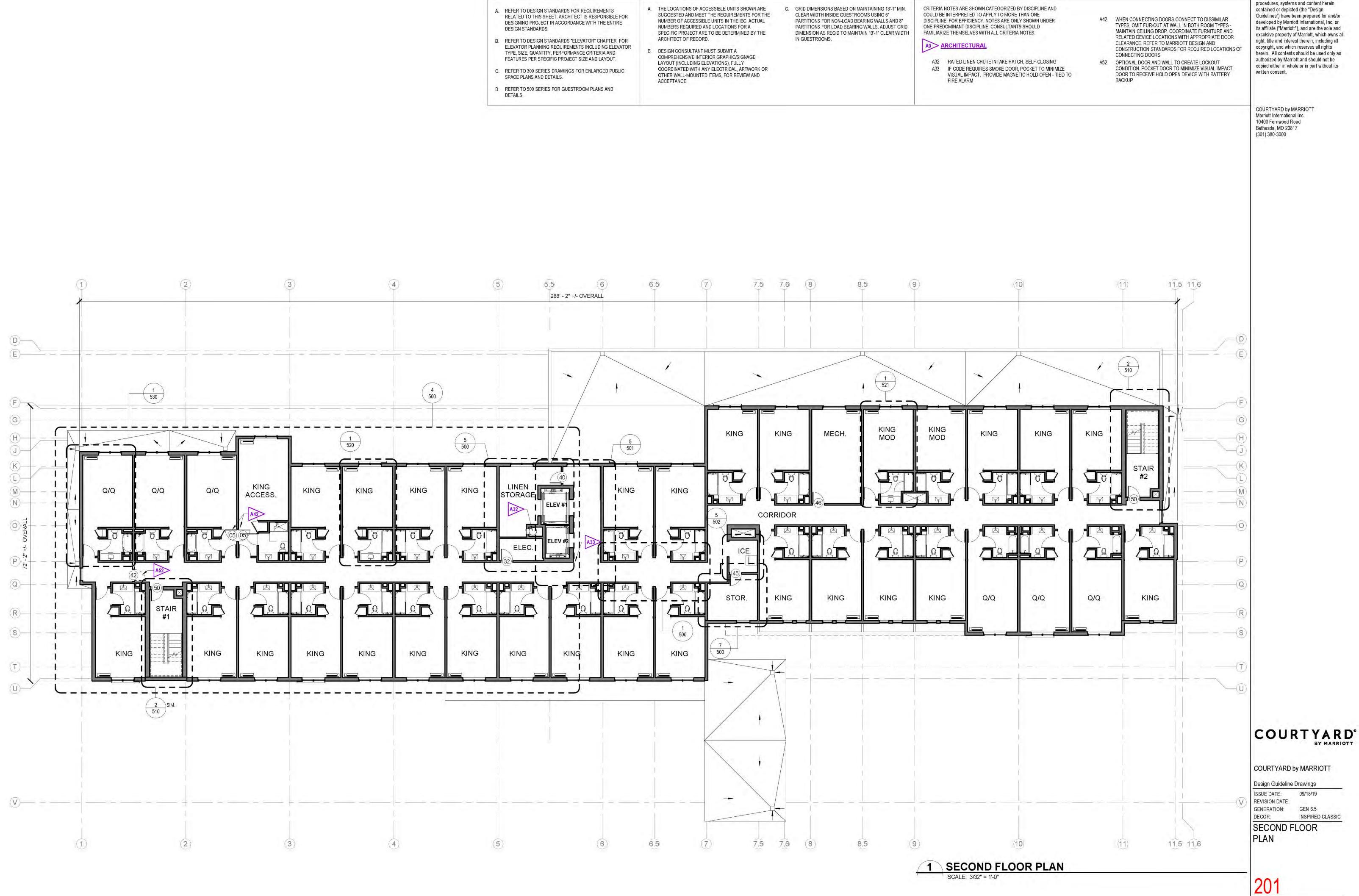
CRITERIA NOTES ARE SHOWN CATEGORIZED BY DISCIPLINE AND COULD BE INTERPRETED TO APPLY TO MORE THAN ONE DISCIPLINE. FOR EFFICIENCY, NOTES ARE ONLY SHOWN UNDER ONE PREDOMINANT DISCIPLINE. CONSULTANTS SHOULD FAMILIARIZE THEMSELVES WITH ALL CRITERIA NOTES.

### A0 ARCHITECTURAL

- A41 IF MEETING ROOM 3 BAY OPTION IS USED, THE MEETING ROOM WILL EXPAND INTO THE ADJACENT QQ GUESTROOM. FIRST FLOOR ENGINEERING OFFICE CONVERTS TO A KING GUESTROOM AND ENGINEERING OFFICE IS RELOCATED TO THE SECOND FLOOR TO REPLACE THE STORAGE ROOM.
- A42 WHEN CONNECTING DOORS CONNECT TO DISSIMILAR TYPES, OMIT FUR-OUT AT WALL IN BOTH ROOM TYPES -MAINTAIN CEILING DROP. COORDINATE FURNITURE AND RELATED DEVICE LOCATIONS WITH APPROPRIATE DOOR CLEARANCE. REFER TO MARRIOTT DESIGN AND CONSTRUCTION STANDARDS FOR REQUIRED LOCATIONS OF CONNECTING DOORS
   A45 PROVIDE POCKET DOORS IN OPEN POSITION WITH THE
- ELECTROMAGNETIC HOLD-OPEN TIED TO FIRE ALARM SYSTEM

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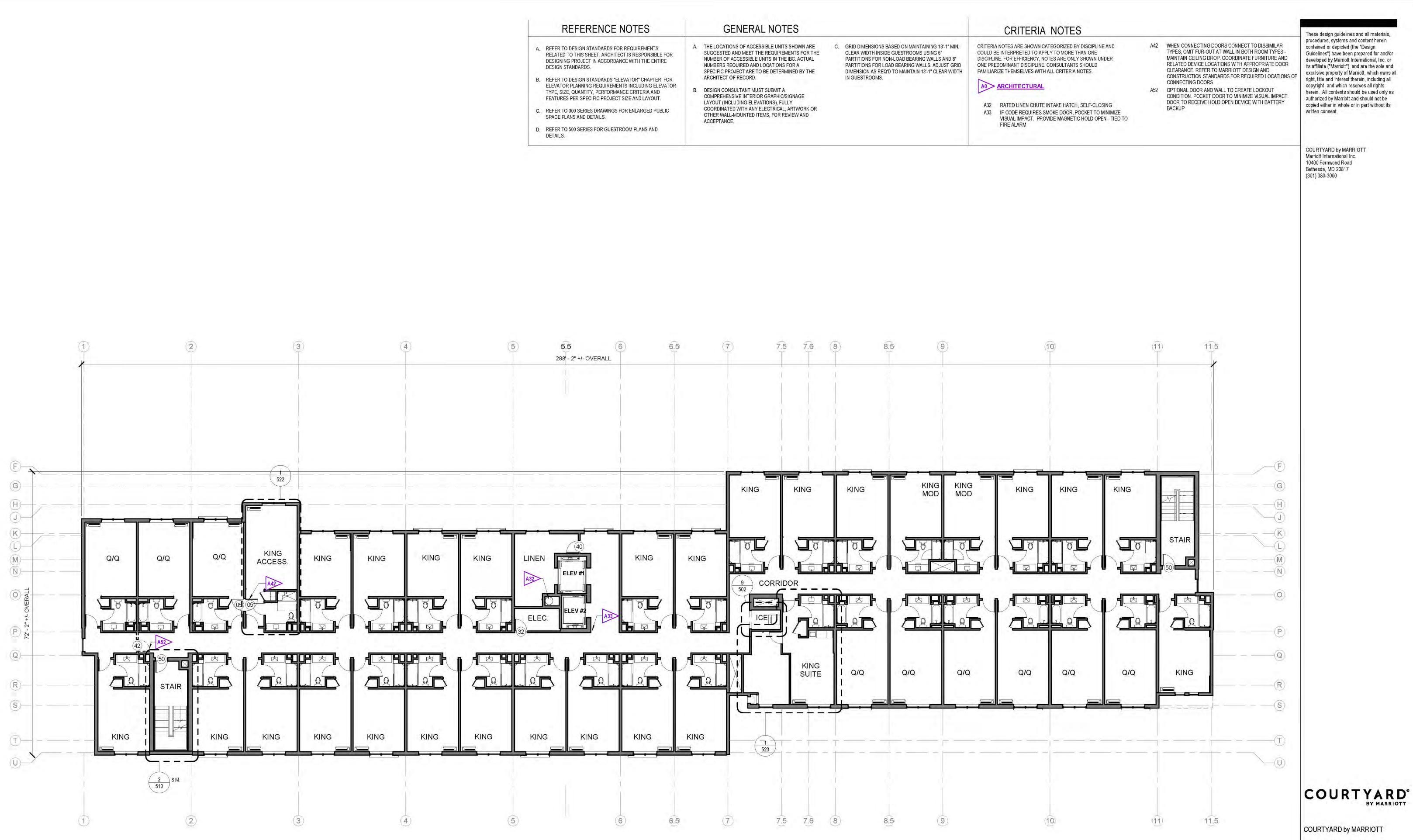
REFERENCE NOTES	GENERAL NOTES
<ul> <li>A. REFER TO DESIGN STANDARDS FOR REQUIREMENTS RELATED TO THIS SHEET. ARCHITECT IS RESPONSIBLE FOR DESIGNING PROJECT IN ACCORDANCE WITH THE ENTIRE DESIGN STANDARDS.</li> <li>B. REFER TO DESIGN STANDARDS "ELEVATOR" CHAPTER FOR ELEVATOR PLANNING REQUIREMENTS INCLUDING ELEVATOR TYPE, SIZE, QUANTITY, PERFORMANCE CRITERIA AND FEATURES PER SPECIFIC PROJECT SIZE AND LAYOUT.</li> <li>C. REFER TO 300 SERIES DRAWINGS FOR ENLARGED PUBLIC SPACE PLANS AND DETAILS.</li> <li>D. REFER TO 500 SERIES FOR GUESTROOM PLANS AND DETAILS.</li> </ul>	<ul> <li>A. THE LOCATIONS OF ACCESSIBLE UNITS SHOWN ARE SUGGESTED AND MEET THE REQUIREMENTS FOR THE NUMBER OF ACCESSIBLE UNITS IN THE IBC. ACTUAL NUMBERS REQUIRED AND LOCATIONS FOR A SPECIFIC PROJECT ARE TO BE DETERMINED BY THE ARCHITECT OF RECORD.</li> <li>B. DESIGN CONSULTANT MUST SUBMIT A COMPREHENSIVE INTERIOR GRAPHIC/SIGNAGE LAYOUT (INCLUDING ELEVATIONS), FULLY COORDINATED WITH ANY ELECTRICAL, ARTWORK OR OTHER WALL-MOUNTED ITEMS, FOR REVIEW AND ACCEPTANCE.</li> <li>C. GRID DIMENSIONS BASED ON MAINTAINING 13'-1" MIN. CLEAR WIDTH INSIDE GUESTROOMS USING 6" PARTITIONS FOR NON-LOAD BEARING WALLS AND 8" PARTITIONS FOR NON-LOAD BEARING WALLS. ADJUST GRIE DIMENSION AS REQ'D TO MAINTAIN 13'-1" CLEAR WIDT IN GUESTROOMS.</li> </ul>

CRITERIA NOTES

NOT FOR CONSTRUCTION

These design guidelines and all materials,

FILE NAME: 04-C-G6\_5-201-Second FIr Plan



12/11/2020 12:08:46 AM

1 THIRD FLOOR PLAN SCALE: 3/32" = 1'-0" referenced from: X\_444 202 NOT FOR CONSTRUCTION

INSPIRED CLASSIC

Design Guideline Drawings ISSUE DATE: 09/18/19

GENERATION: GEN 6.5

THIRD FLOOR PLAN

**REVISION DATE:** 

DECOR:

FILE NAME: 04-C-G6\_5-202-Third FIr PIn



12/11/2020 12:49:46 AM

### **REFERENCE NOTES**

REFER TO DESIGN STANDARDS "MECHANICAL" CHAPTER FOR MAIN REQUIREMENTS RELATED TO THIS SHEET. ARCHITECT IS RESPONSIBLE FOR DESIGNING PROJECT IN ACCORDANCE WITH THE ENTIRE DESIGN STANDARDS.

### **GENERAL NOTES**

A.

- USE OF SYSTEM MAY REQUIRE INCREASE IN FLOOR TO FLOOR HEIGHT. ARCHITECT TO COORDINATE WITH OTHER BUILDING COMPONENTS. THE FLOOR TO FLOOR HEIGHT TO BE ADJUSTED AS REQUIRED WITHIN CORRIDORS AND TO PROVIDE CLEAR CORRIDOR HEIGHTS WITHOUT SOFFITS, AS INDICATED ON THE GUIDELINE DRAWINGS. IF FLOOR TO FLOOR HEIGHT IS RAISED, ASSURE DIMENSIONS OF STAIRS WILL ACCOMMODATE ADDITIONAL RISER.
- PROTOTYPE SYSTEM MAY BE EITHER ROOF TOP PACKAGE OR SPLIT SYSTEM. AIR HANDLING UNITS TO FEED TO VERTICAL RISERS AT THE END OF THE CORRIDORS AND DOWN TO EACH FLOOR AS INDICATED ON THE PLAN.
- DUCTWORK IS SHOWN SCHEMATICALLY. DUCTWORK IS TO BE DESIGNED AND SIZED AS REQUIRED FOR TOTAL CFM REQUIREMENTS AND TO COMPLY WITH CODE REQUIREMENTS AND MODULE 15. GUESTROOM DUCTWORK RUNS COMING OFF MAIN CORRIDOR RUN TO BE STAGGERED.
- OUTDOOR AIR FOR PUBLIC SPACES ON FIRST FLOOR TO BE PROVIDED BY LOUVERS ON REAR FACADE.
- ARCHITECT TO LOCATE ACCESS PANELS & FINISH FLUSH WITH ADJACENT SURFACE. FINISH TO MATCH ADJACENT.
- COORDINATE PLACEMENT OF ELECTRICAL DEVICES, DIFFUSERS, ACCESS PANELS, SYSTEMS INTERFACE AND INTERIOR GRAPHICS SO AS NOT TO ENCROACH ON KEY FOCAL ELEMENTS.
- MECHANICAL, ELECTRICAL, TELEPHONE AND EQUIPMENT ROOMS ARE TO BE ADEQUATELY VENTED AND WHERE NECESSARY SHALL BE MECHANICALLY EXHAUSTED TO PREVENT HEAT BUILD UP.
- OUTSIDE AIR FOR GUESTROOMS AND GUESTROOM CORRIDORS TO BE PROVIDED IN ACCORDANCE WITH THE LOCAL CODE. SINGLE LINE MECHANICAL SCHEMATIC ON DRAWINGS IS ONLY INTENDED TO GRAPHICALLY INDICATE GENERAL OUTDOOR AIR DUCTING.
- LOCATE REGISTERS WITHIN GUESTROOM TO ENSURE GOOD CIRCULATION THROUGH ENTIRE GUESTROOM AND TO COORDINATE WITH THE INTERIOR DESIGN.
- LOCATE CONDENSERS TO REDUCE VISIBILITY TO GUESTS. SEE ALSO ROOF AND SITE PLANS FOR POSSIBLE LOCATIONS OF GUESTROOM OUTSIDE AIR UNITS AND CONDENSERS.
- . CONDENSATE LINES FOR PTAC UNITS SHALL BE LOCATED INSIDE BUILDING AND SHALL DRAIN TO SANITARY OR STORM LINE AS ALLOWED BY CODE.

### CRITERIA NOTES

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#### ED ENGINEERING

- E46 ICE DISPENSER / MARKET TO BE EXHAUSTED OF EXCESS HEAT. LOCATE EXHAUST DIRECTLY OVERHEAD OF ICE E55 CORRIDOR OUTSIDE SUPPLY AIR DISTRIBUTED ALONG LENGTH OF CORRIDOR
- E56 TYPICAL DUCTED FRESH AIR TO EACH GUESTROOM. REFER TO GUESTROOM FLOOR HVAC REQUIREMENTS NOTES THIS SHEET
- E57 PTAC FOR TYPICAL GUESTROOM HVAC E63 LINEN STORAGE ROOMS SHALL RECEIVE ADEQUATE
- EXHAUST E64 DEDICATED FOOD SERVICE EXHAUST AND MAKEUP AIR SHAFT
- E65 DUCT SHAFT AT END OF CORRIDOR E111 ARCHITECT AND ENGINEER ARE TO PROVIDE SUFFICIENT SPACE AND ADJUST ROOM SIZES AS NECESSARY FOR ALL FLOOR MOUNTED EQUIPMENT IN MECHANICAL AND ELECTRICAL ROOMS
- E112 ARCHITECT AND ENGINEER OF RECORD TO PROVIDE SUFFICIENT CEILING SPACE FOR ENERGY RECOVERY FEATURE FOR (DOAS) SYSTEM IN ALL GUESTROOMS AND CORRIDORS PER DESIGN STANDARDS

## **KEY PLAN**

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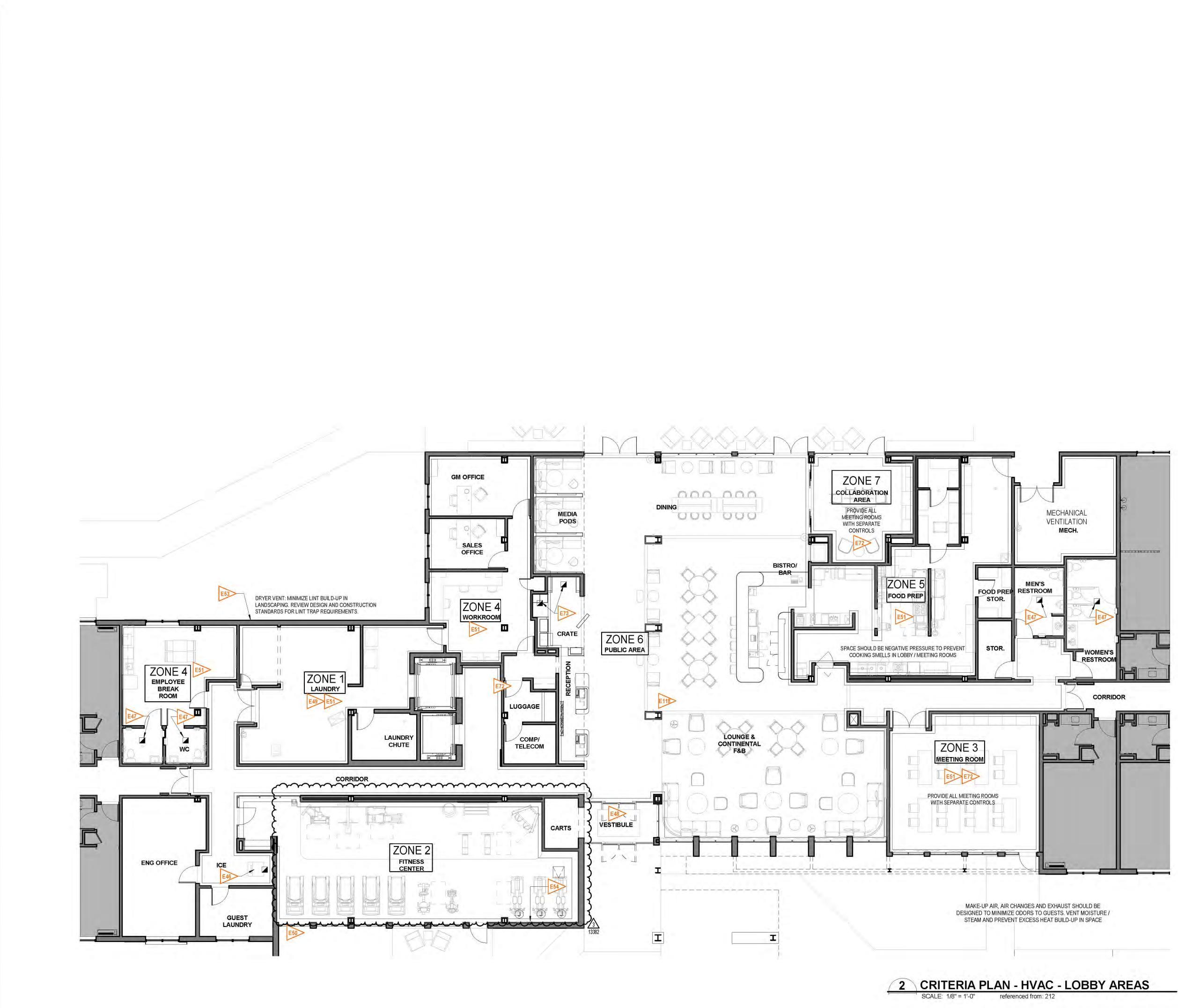


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ISSUE DATE: REVISION DATE:	09/18/19 12/18/20
GENERATION:	GEN 6.5
DECOR:	INSPIRED CLASSIC

700 NOT FOR CONSTRUCTION

FILE NAME: 16-C-G6\_5-700-Crit PIn\_HVAC



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## **REFERENCE NOTES**

A. REFER TO DESIGN STANDARDS "MECHANICAL" CHAPTER FOR MAIN REQUIREMENTS RELATED TO THIS SHEET. ARCHITECT IS RESPONSIBLE FOR DESIGNING PROJECT IN ACCORDANCE WITH THE ENTIRE DESIGN STANDARDS.

### GENERAL NOTES

THIS SHEET IS INTENDED TO GRAPHICALLY INDICATE IMPORTANT HVAC REQUIREMENTS FOR GUESTROOMS ON THE FIRST FLOOR AND TYPICAL GUESTROOM FLOORS.

- GUESTROOMS ARE TO RECEIVE DUCTED OUTSIDE AIR (OSA). REFER TO MODULE 15 OF THE DESIGN AND CONSTRUCTION STANDARDS, FOR ADDITIONAL AND DETAILED SPECIFIC REQUIREMENTS. OUTDOOR AIR FOR GUESTROOMS AND GUESTROOM CORRIDORS TO BE PROVIDED IN ACCORDANCE WITH THE AUTHORITY HAVING JURISDICTION.
- PROTOTYPE SYSTEM MAY BE EITHER ROOF TOP PACKAGE OR SPLIT SYSTEM. AIR HANDLING UNITS FEED TO VERTICAL RISERS AT THE ENDS OF THE CORRIDORS AND DOWN TO EACH FLOOR AS INDICATED ON THE PLAN.
- DUCTWORK IS SHOWN SCHEMATICALLY. DUCTWORK IS TO BE DESIGNED AND SIZED AS REQUIRED FOR TOTAL CFM REQUIREMENTS AND TO COMPLY WITH CODE REQUIREMENTS AND MODULE 15.
- USE OF DUCTED SYSTEM MAY REQUIRE INCREASE IN FLOOR TO FLOOR HEIGHT. ARCHITECT TO COORDINATE WITH OTHER BUILDING COMPONENTS. THE FLOOR TO FLOOR HEIGHT TO BE ADJUSTED AS REQUIRED WITHIN CORRIDORS AND TO PROVIDE CLEAR CORRIDOR HEIGHTS WITHOUT SOFFITS. IF THE FLOOR TO FLOOR HEIGHT IS RAISED, ASSURE DIMENSIONS OF STAIRWAYS WILL ACCOMMODATE ADDITIONAL RISERS.
- LOCATE REGISTERS WITHIN GUESTROOMS TO ENSURE GOOD CIRCULATION THROUGH ENTIRE GUESTROOM AND COORDINATE WITH THE INTERIOR DESIGN.
- LOCATE CONDENSERS TO REDUCE VISIBILITY TO GUESTS. IF THE FLOOR TO FLOOR HEIGHT IS RAISED, ASSURE
- DIMENSIONS OF STAIRWAYS WILL ACCOMMODATE ADDITIONAL RISERS.
- MECHANICAL, ELECTRICAL, TELEPHONE AND EQUIPMENT ROOMS ARE TO BE ADEQUATELY VENTILATED AND WHERE NECESSARY SHALL BE MECHANICALLY EXHAUSTED TO PREVENT HEAT BUILD-UP.
- ARCHITECT TO LOCATE ACCESS PANELS & FINISH FLUSH WITH ADJACENT SURFACE.
- COORDINATE PLACEMENT OF ELECTRICAL DEVICES, DIFFUSERS, ACCESS PANELS, SYSTEMS INTERFACE AND INTERIOR GRAPHICS SO AS NOT TO ENCROACH ON KEY FOCAL ELEMENTS
- CONDENSATE LINES FOR PTAC UNITS SHALL BE LOCATED INSIDE BUILDING AND SHALL DRAIN TO SANITARY OR SEWER LINE AS ALLOWED BY CODE.
- PTAC SLEEVES SHALL EXTEND INTO THE GUESTROOM 18" 12 TO PREVENT DRAPERY BILLOWING OR TRAPPING AIR.
- OUTSIDE AIR FOR PUBLIC SPACES ON FIRST FLOOR TO BE 13. PROVIDED THROUGH LOUVERS ON REAR FACADE.
- OUTSIDE AIR FOR GUESTROOMS AND GUESTROOM 14. CORRIDORS TO BE PROVIDED IN ACCORDANCE WITH THE LOCAL CODE. SINGLE LINE MECHANICAL SCHEMATIC ON DRAWINGS IS ONLY INTENDED TO GRAPHICALLY INDICATE GENERAL OUTDOOR DUCTING.

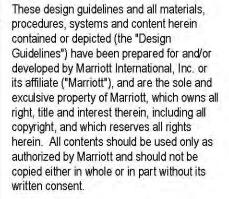
### CRITERIA NOTES

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### E0 ENGINEERING

- E46 ICE DISPENSER / MARKET TO BE EXHAUSTED OF EXCESS HEAT. LOCATE EXHAUST DIRECTLY OVERHEAD OF ICE MAKERS / REFRIGERATOR EQUIPMENT
- E47 EXHAUST TOILET ROOMS (TYPICAL). ENSURE A MINIMUM OF (2) ELBOWS IN DUCTS BETWEEN RESTROOMS FOR SOUND ATTENUATION
- E48 IN COLD CLIMATES, ELECTRICAL WALL HEATERS WILL BE REQUIRED TO ENSURE VESTIBULE COMFORT NEAR EXTERIOR ENTRIES
- E49 MAIN LAUNDRY AIR SHOULD NOT BE RETURNED TO SYSTEMS WHICH SERVE ANY OTHER SPACES TO PREVENT LAUNDRY ODORS FROM SPREADING
- E50 FITNESS CENTER REQUIRES GREATER VENTING/EXHAUST AND AIR CHANGES
- E51 PROVIDE CODE REQUIRED OUTSIDE AIR (OSA) AS NECESSARY PER ZONE FOR OCCUPANCY. EACH FLOOR MUST HAVE 10-15% POSITIVE PRESSURE (MORE OSA THAN EXHAUST) E53 COMBUSTION AIR LOUVER
- E54 PROVIDE SUPPLEMENTAL HEATING ALONG FENESTRATION
- IN THE FITNESS ROOM E72 USE LINEAR HVAC DIFFUSERS IN LOBBY AND PUBLIC SPACES
- E73 EXHAUST DIRECTLY ABOVE REFRIGERATORS
- E118 PREFERRED LOCATIONS OF CEILING ACCESS PANELS WITHIN MAIN LOBBY AREA ARE TO BE LOCATED OUT OF GUEST VIEW OR IN ACT CEILING WHEN POSSIBLE. ARCHITECT AND ENGINEER OF RECORD TO COORDINATE FINAL LOCATIONS.

### **KEY PLAN**



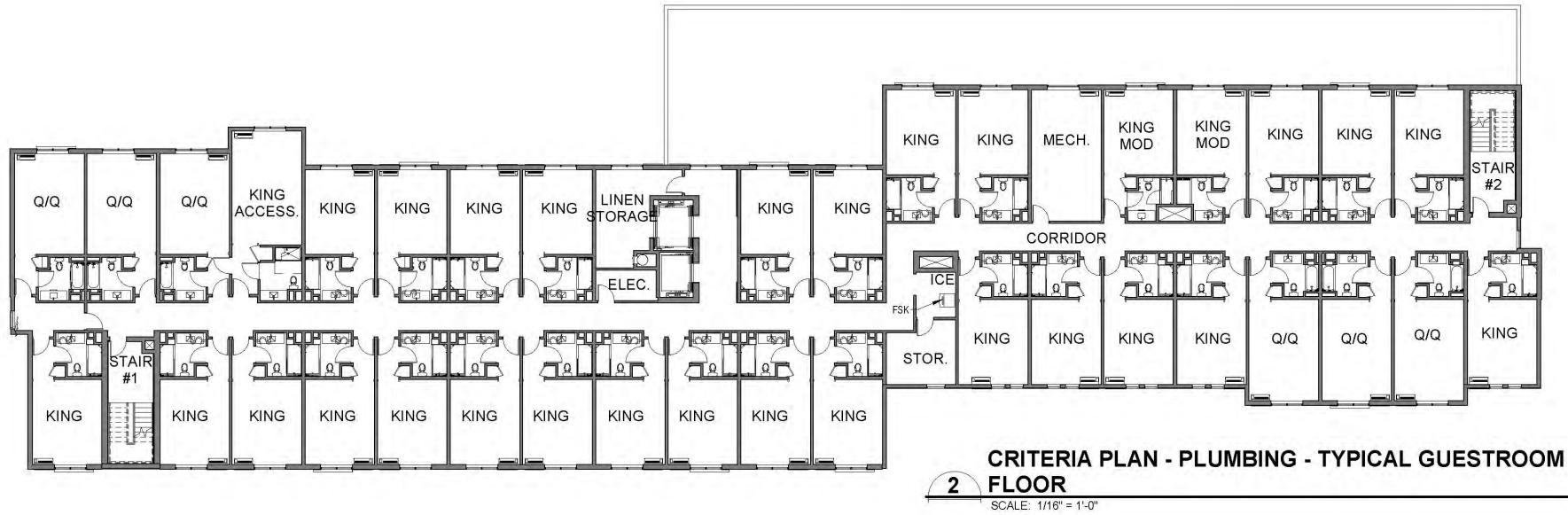
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<b>REVISION DATE:</b>	12/15/21
GENERATION:	GEN 6.5
DECOR:	INSPIRED CLASSIC
CRITERIA HVAC ZON	

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### **CRITERIA PLAN - PLUMBING - LOBBY AREAS** SCALE: 1/8" = 1'-0"

referenced from: 563

## **REFERENCE NOTES**

- REFER TO DESIGN STANDARDS "PLUMBING" CHAPTER FOR A. MAIN REQUIREMENTS RELATED TO THIS SHEET. ARCHITECT IS RESPONSIBLE FOR DESIGNING PROJECT IN ACCORDANCE WITH THE ENTIRE DESIGN STANDARDS.
- B. REFER TO THE BUILDING PRODUCT MANUAL FOR PLUMBING FIXTURE INFORMATION.

### GENERAL NOTES

- THE DESIGN GUIDELINE DRAWINGS SHOW GENERAL LOCATION OF REQUIRED PLUMBING FIXTURES. PROJECT ARCHITECT TO VERIFY LOCATIONS PER SPECIFIC PROJECT.
- COORDINATE PLUMBING LINES TO AVOID RUNNING ABOVE ELECTRICAL OR SYSTEMS EQUIPMENT.
- THIS DRAWING SHOWS GENERAL LOCATION OF REQUIRED PLUMBING FIXTURES. DESIGNER TO VERIFY ACTUAL LOCATIONS.
- ENSURE CLEAN-OUTS ARE NOT IN PUBLIC VIEW.
- SUMPS WHERE REQUIRED AT ELEVATOR PITS SHALL BE CONNECTED PER LOCAL JURISDICTIONAL REQUIREMENTS INCLUDING OIL WATER SEPARATORS OR OTHER APPLIANCES.
- WHERE WASTE LINES RUN HORIZONTALLY OVER QUIET ZONES, INSULATE FOR SOUND ATTENUATION.
- DO NOT INSTALL WATER LINES IN EXTERIOR WALLS.
- PROVIDE VACUUM BREAKERS ON ALL HOSE BIBBS AND WALL HYDRANTS.

9

- LOCATE FLOOR CLEAN-OUTS IN INCONSPICUOUS LOCATIONS, AND NOT IN GUESTROOMS. FLOOR CLEAN-OUTS LOCATED IN CARPETED AREAS ARE TO BE FITTED WITH CARPET INSERTS. CLEAN-OUTS ARE TO BE FLUSH TO FLOORS/WALLS
- 10. WRAP SUPPLY PIPES WITH INSULATING MATERIAL.
- 11. BACK-OF-HOUSE PLUMBING FIXTURES TO BE SELECTED BY PROJECT ARCHITECT (AS INDICATED BY MARK NUMBER WITH NO SUFFIX NUMBER SHOWN) AND ARE NO LONGER INCLUDED IN THE PROJECT MANUAL MASTER - PLUMBING MATRIX, PLUMBING FIXTURES WITH SUFFIX NUMBERS ARE TO BE PROVIDED IN ACCORDANCE WITH THE BUILDING PRODUCT MANUAL.
- 12. SEE LAUNDRY EQUIPMENT PLAN, SHEET620, FOR SPECIFIC EQUIPMENT PLUMBIING REQUIREMENTS IN MAIN LAINDRY.
- SEE FOOD SERVICE EQUIPMENT PLAN SHEETS FOR 13. SPECIFIC EQUIPMENT PLUMBIING REQUIREMENTS IN FOOD SERVICE AREAS.
- 14. WATER CLOSET WASTE LINES ARE TO BE LOCATED IN WALL CHASE AND NOT EXTERIOR WALLS.

### CRITERIA NOTES

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### A0 ARCHITECTURAL

- A39 REFER TO FOOD SERVICE, THE MARKET, AND LAUNDRY EQUIPMENT PLANS AND PRODUCT MANUAL FOR ALL FOOD SERVICE AND LAUNDRY EQUIPMENT REQUIRING POWER AND PLUMBING CONNECTIONS
- A40 COORDINATE POWER AND PLUMBING FOR ALL EQUIPMENT

### E0 ENGINEERING

- E18 PROVIDE PLUMBING DRAIN & WATER SUPPLY FOR WATER COOLER
- E38 LOCATE EQUIPMENT & PROVIDE FLOOR DIMENSION FOR DRAIN
- E39 PROVIDE WALL HYDRANTS AT PATIO AREAS, SERVICE AREAS AND WHERE REQUIRED BY CODE
- E40 PROVIDE APPROPRIATE CONNECTION FOR GUEST LAUNDRY EQUIPMENT
- E42 ALL AREAS WITH CHEMICALS RECEIVE EYE WASH STATION E45 PROVIDE FLOOR DRAIN IN CHUTE TERMINATION ROOM
- E66 RUN PLUMBING FOR BAR EQUIPMENT THROUGH BAR DYE

E127 PROVIDE WATER LINE FOR STARBUCK EQUIPMENT.

PLUMBING LEGEND

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-09

WALL HYDRANT

FLOOR DRAIN

FLOOR SINK

EYE WASH

**KEY PLAN** 

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Design Guideline	Drawings
ISSUE DATE:	09/18/19
REVISION DATE:	12/18/20
GENERATION:	GEN 6.5
DECOR:	INSPIRED CLASSIC



FILE NAME: 16-C-G6\_5-710-Crit Pln\_Plmbg

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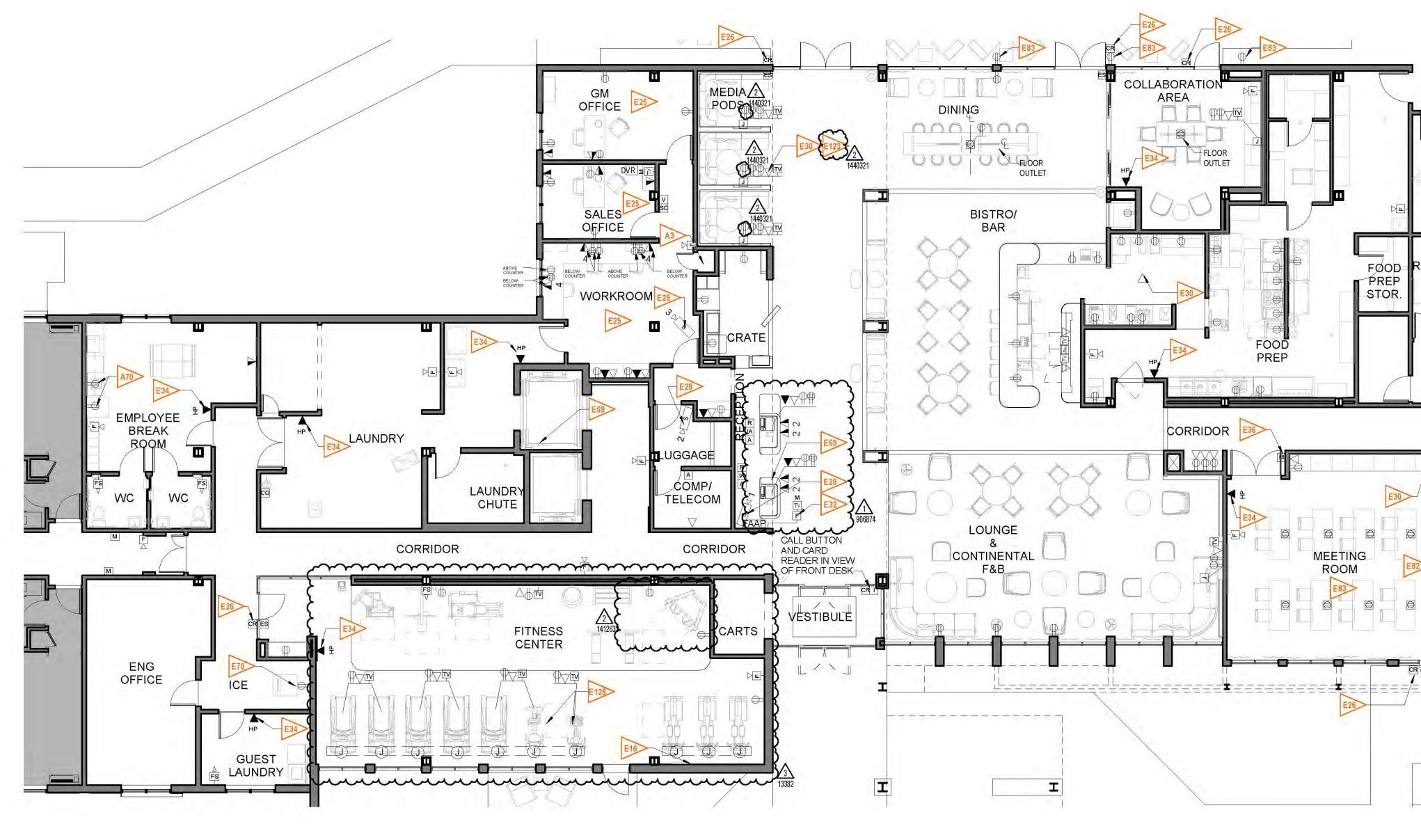
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11/17/2021 4:12:47 PM

### ELECTRICAL LEGEND

- LIGHT SWITCH DUPLEX RECEPTACLE GFI GROUND FAULT INTERRUPTER, DUPLEX RECEPTACLE THERMOSTAT
- (T)A ... **TELEPHONE OUTLET**
- τv TV OUTLET
- J JUNCTION BOX
- DATA  $\Delta$
- TELEPHONE/DATA (FLUSH WALL  $\Delta$
- MOUNTED)

**CRITERIA PLAN - ELECTRICAL - LOBBY AREAS** 

referenced from: 212

11

SCALE: 1/8" = 1'-0"

### **REFERENCE NOTES**

REFER TO DESIGN STANDARDS "ELECTRICAL" CHAPTER FOR MAIN REQUIREMENTS RELATED TO THIS SHEET. ARCHITECT IS RESPONSIBLE FOR DESIGNING PROJECT IN ACCORDANCE WITH THE ENTIRE DESIGN STANDARDS.

## **GENERAL NOTES**

COORDINATE POWER REQUIREMENTS FOR ALL MICROS EQUIPMENT.

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written consent.

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- ALL RECEPTACLES, HORNS, VISUAL INDICATORS, EMERGENCY LIGHTS, PULL STATIONS AND EXIT LIGHTS MOUNTED ON THE EXTERIOR OF THE BUILDING AND AT THE INDOOR POOL SHALL BE OF THE WEATHERPROOF
- CONFIRM REQUIREMENTS FOR POWER/DATA AT P.O.S. LOCATIONS.
- MUSIC SYSTEM IN LOBBY, VESTIBULE AND PORTE COCHERE. LOCATE EQUIPMENT IN LOCKED AREA.
- LOCATE CO DETECTOR OUT OF DIRECT VIEW OF GUEST.
- TIE P.O.S. INTO FOSSE.
- IN COLD CLIMATES, ELECTRICAL WALL HEATERS WILL BE REQUIRED TO ENSURE VESTIBULE COMFORT.
- LOCATE INTERCOM AT REGISTRATION DESK RECEPTION AREA.
- LOCATE DURESS ALARM AT REGISTRATION DESK.
- 10 PROVIDE ISOLATED GROUND RECEPTACLES FOR ALL PRINTER, COMPUTERS AND MONITORS.
- PROVIDE CONDUIT BACK TO COMPUTER/COMMUNICATION 11 ROOM FOR ALL SYSTEMS.
- 12. FOR THE DATA AND TV SYMBOL REPRESENTED, USE DATATREND BUNDLES WITH (3) CAT 5E OR CAT 6 CABLES AND (1) COAX CABLE.
- 13. ALL SWITCH AND RECEPTACLE DEVICES LOCATED IN THE LOBBY SHALL BE SIMILAR TO "DECORA" STYLE, OR ACCEPTED SUBSTITUTION BY LISTED MANUFACTURERS. COLOR OF THE DEVICES AND COVER PLATES AS SPECIFIED IN THE PROJECT MANUAL MASTER SECTION 26 27 26.
- PROVIDE A TERMINATED DATA DROP (AT WAP) WITH A 25' 14 COILED LOOP LEFT ABOVE CEILING FOR WIRELESS ACCESS POINT. DATA DROPS SHALL BE INSTALLED BACK TO THE NEAREST TECHNOLOGY CLOSET. WIRELESS ACCESS POINT LOCATIONS ARE PROPOSED LOCATIONS ONLY. A SITE SURVEY BY THE DATA/COMMUNICATIONS CONTRACTOR MUST BE COMPLETED BEFORE FINAL INSTALLATION OF ACCESS POINTS.
- ALL RECEPTACLES AND SWITCHES SHALL BE FLUSH MOUNTED FOR ALL AREAS, UNLESS OTHERWISE NOTED.
- ELECTRICAL CONTRACTOR SHALL VERIFY ALL DOOR 16. SWINGS BEFORE INSTALLING LIGHT SWITCHES. ALL LIGHT SWITCHES ARE TO BE INSTALLED ON STRIKE SIDE OF DOOR UNLESS SPECIFICALLY NOTED OTHERWISE.
- ALL EMERGENCY BATTERY PACKS SHALL BE CONNECTED
- AHEAD OF THE ROOM LIGHT SWITCHING.
- ALL BATHROOMS SHALL BE G.F.I. (TYP). 18
- 19 COORDINATE LIGHTING FIXTURE LOCATIONS WITH MECHANICAL AND PLUMBING EQUIPMENT TO AVOID INTERFERENCES.
- ALL EXTERIOR EQUIPMENT AND DEVICES SHALL BE WEATHERPROOF AND RAIN-TIGHT.
- PROVIDE BRANCH CIRCUIT WIRING AS REQUIRED FOR ALL 21 EQUIPMENT FURNISHED BY OTHERS.

### CRITERIA NOTES

CRITERIA NOTES ARE SHOWN CATEGORIZED BY DISCIPLINE AND COULD BE INTERPRETED TO APPLY TO MORE THAN ONE DISCIPLINE. FOR EFFICIENCY, NOTES ARE ONLY SHOWN UNDER ONE PREDOMINANT DISCIPLINE. CONSULTANTS SHOULD FAMILIARIZE THEMSELVES WITH ALL CRITERIA NOTES.

### E0 ENGINEERING

- E16 GC TO INSTALL LANDSCAPE OUTLET BEHIND CLOCK/THERMOSTAT (NOT RECESSED), AND RUN REMOTE TEMPERATURE SENSOR THROUGH WALL TO EXTERIOR LOCATION
- E25 BACK OF HOUSE: CONTROL WITH OCCUPANCY SENSORS EXCEPT THOSE AREAS THAT SHOULD NOT GO FULL DARK FOR LOSS PREVENTION ISSUES SUCH AS CORRIDORS, LOCKER ROOMS, AND BATHROOMS. THE SENSORS IN THE ELECTRICAL AND MECHANICAL ROOMS SHOULD HAVE AN OVERRIDE SWITCH BUILT INTO THE UNIT DUE TO POSSIBLE WORK BEING PERFORMED WITH LITTLE MOVEMENT E26 DOOR SECURED WITH CARD READER
- E28 CAMERAS SHOWN ARE REQUIRED FOR MANAGED SITES AND OPTIONAL FOR FRANCHISEES. LOCATE CAMERA (1) AT FRONT DESK, CAMERA (2) AT ENTRY/EXIT OF STORAGE LOCATION FOR FOSSE SERVER & CAMERA (3) AT SAFE. DIGITAL VIDEO RECORDER FOR SYSTEM TO BE SECURED IN LOCK BOX
- E30 PROVIDE A TERMINATED DATA DROP (AT WAP) WITH A 25' COILED LOOP LEFT ABOVE THE CEILING FOR WIRELESS ACCESS POINT. DATA DROPS SHALL BE INSTALLED BACK TO THE NEAREST TECHNOLOGY CLOSET. WIRELESS ACCESS POINT LOCATIONS ARE PROPOSED LOCATIONS ONLY. A SITE SURVEY BY THE DATA/COMMUNICATIONS CONTRACTOR MUST BE COMPLETED BEFORE FINAL INSTALLATION OF ACCESS POINTS
- E32 PULL STATION AT FRONT DESK ONLY VERIFY WITH LOCAL AUTHORITY IF ADDITIONAL PULL STATIONS ARE REQUIRED E34 LOCATE HOUSE PHONES 12" FROM DOOR U.N.O., 44" AFF
- (TYPICAL) E36 DOOR TO RECEIVE MAGNETIC HOLD OPEN DEVICE TIED TO
- FIRE ALARM E69 DOOR RELEASE BUTTON (FOR VESTIBULE DOOR). ASSOCIATE SHALL BE ABLE TO SEE VESTIBULE INTERCOM
- E70 DEDICATED POWER RECEPTACLE E82 PROVIDE LEGRAND ADORNE RECEPTACLE (2) OUTLETS +

O PROVIDE CABLE AND POWER CONNECTIONS FOR BIRES.

**KEY PLAN** 

(2) USB PROVIDE WEATHER PROOF OUTLETS FOR GUEST ACC 23 LEGRAND POWER UNIT, (2) POWER OUTLETS AND (2) L 



COURTYARD by MARRIOTT

Design Guideli ISSUE DATE:	09/18/19
REVISION DATE	E: 12/15/21
GENERATION:	GEN 6.5
DECOR:	INSPIRED CLASSIC

720 NOT FOR CONSTRUCTION

MECH. MEN'S FOOD RESTROOM WOMEN'S RESTROO -----CORRIDOR E36> A PROPERTY.  $\bigcirc$ 

FILE NAME: 16-C-G6\_5-720-Crit PIn\_Elec



## ELECTRICAL LEGEND

- LIGHT SWITCH
- $\square$ DUPLEX RECEPTACLE
- GFI GROUND FAULT INTERRUPTER, DUPLEX RECEPTACLE
- (T) THERMOSTAT
- TELEPHONE OUTLET
- TV TV OUTLET
- JUNCTION BOX
- ▲ TELEPHONE/DATA (FLUSH WALL MOUNTED)

#### A. REFER TO DESIGN STANDARDS "ELECTRICAL" CHAPTER FOR MAIN REQUIREMENTS RELATED TO THIS SHEET. ARCHITECT IS RESPONSIBLE FOR DESIGNING PROJECT IN ACCORDANCE

1

### GENERAL NOTES

**REFERENCE NOTES** 

WITH THE ENTIRE DESIGN STANDARDS.

- COORDINATE POWER REQUIREMENTS FOR ALL MICROS EQUIPMENT.
- ALL RECEPTACLES, HORNS, VISUAL 2. INDICATORS, EMERGENCY LIGHTS, PULL STATIONS AND EXIT LIGHTS MOUNTED ON THE Marriott International Inc. EXTERIOR OF THE BUILDING AND AT THE INDOOR POOL SHALL BE OF THE WEATHERPROOF TYPE.
- CONFIRM REQUIREMENTS FOR POWER/DATA 3. AT P.O.S. LOCATIONS.
- MUSIC SYSTEM IN LOBBY, VESTIBULE AND 4. PORTE COCHERE. LOCATE EQUIPMENT IN LOCKED AREA.
- 5. LOCATE CO DETECTOR OUT OF DIRECT VIEW OF GUEST.
- 6. TIE P.O.S. INTO FOSSE.
- 7. IN COLD CLIMATES, ELECTRICAL WALL HEATERS WILL BE REQUIRED TO ENSURE VESTIBULE COMFORT.
- LOCATE INTERCOM AT REGISTRATION DESK 8. RECEPTION AREA.
- 9. LOCATE DURESS ALARM AT REGISTRATION DESK. 10. PROVIDE ISOLATED GROUND RECEPTACLES
- FOR ALL PRINTER, COMPUTERS AND MONITORS.
- 11. PROVIDE CONDUIT BACK TO COMPUTER/COMMUNICATION ROOM FOR ALL SYSTEMS.
- 12. FOR THE DATA AND TV SYMBOL REPRESENTED, USE DATATREND BUNDLES WITH (3) CAT 5E OR CAT 6 CABLES AND (1) COAX CABLE.
- 13. ALL SWITCH AND RECEPTACLE DEVICES LOCATED IN THE LOBBY SHALL BE SIMILAR TO "DECORA" STYLE, OR ACCEPTED SUBSTITUTION BY LISTED MANUFACTURERS. COLOR OF THE DEVICES AND COVER PLATES AS SPECIFIED IN THE BUILDING PRODUCT MANUAL.
- 14. PROVIDE A TERMINATED DATA DROP (AT WAP) WITH A 25' COILED LOOP LEFT ABOVE CEILING FOR WIRELESS ACCESS POINT. DATA DROPS SHALL BE INSTALLED BACK TO THE NEAREST TECHNOLOGY CLOSET. WIRELESS ACCESS POINT LOCATIONS ARE PROPOSED LOCATIONS ONLY. A SITE SURVEY BY THE DATA/COMMUNICATIONS CONTRACTOR MUST BE COMPLETED BEFORE FINAL INSTALLATION OF ACCESS POINTS.
- 15. ALL RECEPTACLES AND SWITCHES SHALL BE FLUSH MOUNTED FOR ALL AREAS, UNLESS OTHERWISE NOTED.
- ELECTRICAL CONTRACTOR SHALL VERIFY ALL 16. DOOR SWINGS BEFORE INSTALLING LIGHT SWITCHES. ALL LIGHT SWITCHES ARE TO BE INSTALLED ON STRIKE SIDE OF DOOR UNLESS SPECIFICALLY NOTED OTHERWISE.
- 17. ALL EMERGENCY BATTERY PACKS SHALL BE CONNECTED AHEAD OF THE ROOM LIGHT SWITCHING.
- ALL BATHROOMS SHALL BE G.F.I. (TYP). 18.
- 19. COORDINATE LIGHTING FIXTURE LOCATIONS WITH MECHANICAL AND PLUMBING EQUIPMENT TO AVOID INTERFERENCES.
- 20. ALL EXTERIOR EQUIPMENT AND DEVICES SHALL BE WEATHERPROOF AND RAIN-TIGHT.
- PROVIDE BRANCH CIRCUIT WIRING AS 21. REQUIRED FOR ALL EQUIPMENT FURNISHED BY
- OTHERS. 22. LOCATE HOUSE PHONE AT UPPER ELEVATOR

LOBBIES (TYPICAL)

23. PROVIDE CORRIDOR SMOKE DETECTORS PER NFPA 72 AS REQUIRED BY LOCAL AUTHORITY.

### CRITERIA NOTES

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### EO ENGINEERING

- E36 DOOR TO RECEIVE MAGNETIC HOLD OPEN DEVICE TIED TO FIRE ALARM
- E37 REFER TO ENLARGED GUESTROOM PLANS FOR DEVICES IN THOSE LOCATIONS

These design guidelines and all materials, procedures, systems and content herein contained or depicted (the "Design Guidelines") have been prepared for and/or developed by Marriott International, Inc. or its affiliate ("Marriott"), and are the sole and exculsive property of Marriott, which owns all right, title and interest therein, including all copyright, and which reserves all rights herein. All contents should be used only as authorized by Marriott and should not be copied either in whole or in part without its written consent.

COURTYARD by MARRIOTT 10400 Fernwood Road Bethesda, MD 20817 (301) 380-3000

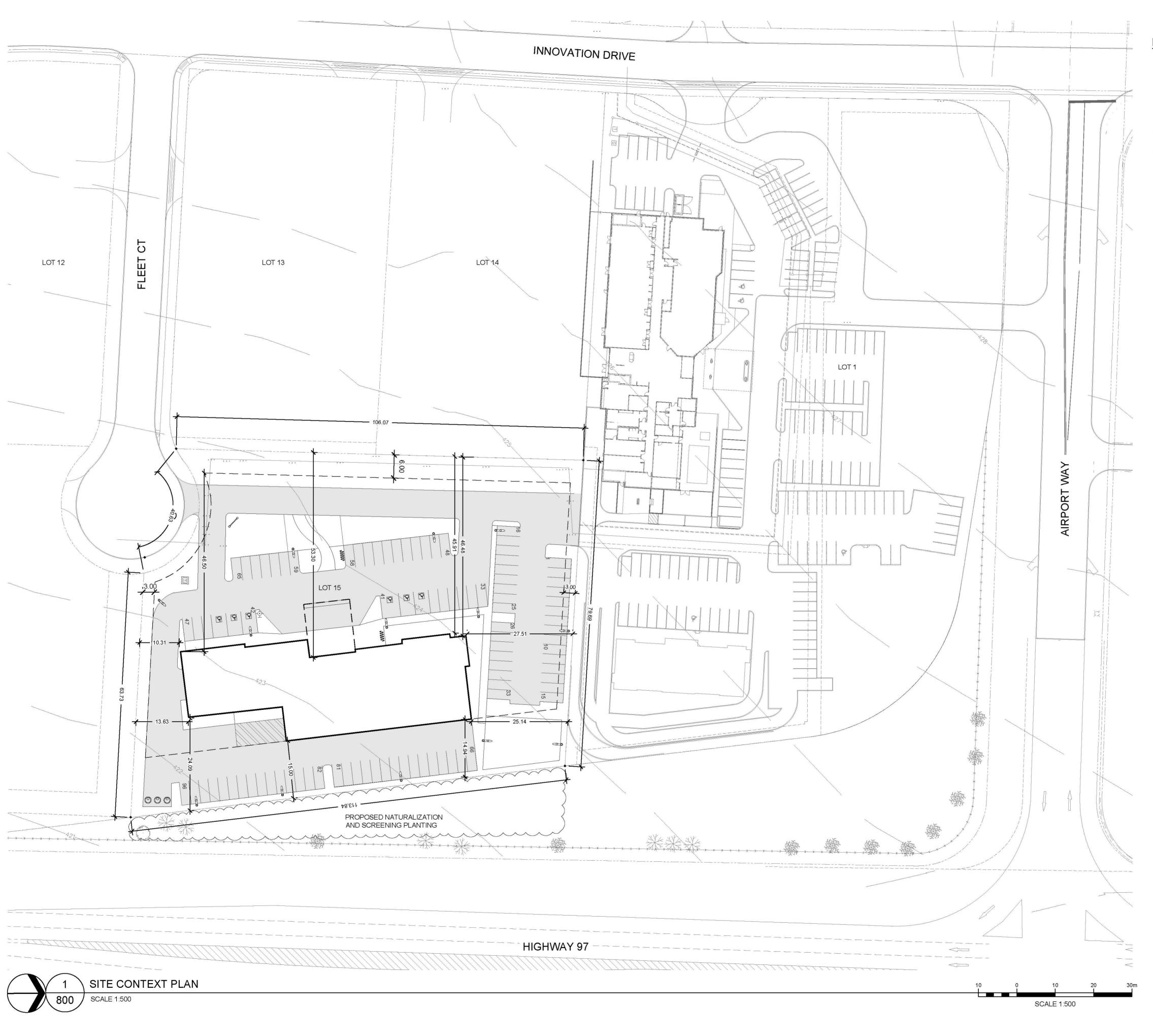


COURTYARD by MARRIOTT

Design Guideline	Drawings
ISSUE DATE:	09/18/19
<b>REVISION DATE:</b>	12/18/20
GENERATION:	GEN 6.5
DECOR:	INSPIRED CLASSIC
CRITERIA I ELECTRIC/ GUESTRO	



FILE NAME: 16-C-G6\_5-721-Crit PIn\_Elec\_Typ GR FIr



### PARKING REQUIREMENTS

PARKING REQUIRED: MIN. 200 STALLS PARKING PROVIDED: 200 STALLS EXTERIOR: 96 PARKADE: 104

#### ACCESSIBLE STALLS REQUIRED: 5 + 1 VAN ACCESSIBLE ACCESSIBLE STALLS PROVIDED: 5 + 1 VAN ACCESSIBLE

BIKE PARKING REQUIRED: 10 STALLS

SHORT TERM: 5 LONG TERM: 5 BIKE PARKING PROVIDED: 10 STALLS SHORT TERM: 5 LONG TERM: 5

### LEGEND

----- PROPERTY BOUNDARY

- SETBACK LINE
- — CANOPY LINE
- \_\_\_\_\_ BUILDING

### SITE DESCRIPTION AND REQUIREMENTS

LEGAL DESCRIPTION: PLAN KAP82802, LOT 15, BLOCK X

CIVIC ADDRESS: 3508 FLEET CRESCENT

LOT SIZE: 2.21 ACRES

BUILDING AREA: 0.37 ACRES (16.7%)

CURRENT ZONING: CD15 PROPOSED ZONING: 9C

SETBACKS:

 FRONT: 6m SIDE: 3m

BACK: 15m

#### Revisions

01	ISSUED FOR DP	2022.04.05
No.	Revision / Issued	yyyy.mm.dd

IT IS THE CONTRACTORS RESPONSIBILITY TO:

- USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING.
- VERIFY ALL DIMENSIONS AT THE SITE.
- REPORT ALL DISCREPANCIES TO THE LANDSCAPE
- ARCHITECT AND AGREE BEFORE PROCEEDING DETERMINE LOCATION OF ALL EXISTING SERVICES PRIOR TO EXCAVATION.

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS SIGNED BY THE LANDSCAPE ARCHITECT.

Stamps

Project COURTYARD MARRIOTT - KELOWNA

3508 FLEET CT

633-003

Drawing Title

Project No.

SITE CONTEXT PLAN



5307 - 47 St	NW
Edmonton.	Alberta
T6B 3T4	
Canada	

T: 780 423-4990 E: info@edadesign.ca www.edadesign.ca

Date	
	2020-04-05
Scale	
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Checked by	
	WP
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	WP
Drawing No.	



### UTILITY SETBACK INFORMATION

TREES SHALL BE SETBACK A MINIMUM DISTANCE, MEASURED FROM THE CENTER OF THE TREE TRUNK, FROM ABOVE AND BELOW GRADE UTILITIES AND PROPERTY LINES AS FOLLOWS:

ROM LIGHT STANDARDS/POWER HARDWARE	3.5m
ROM FIRE HYDRANTS	3.5m
ROM STOP SIGNS	3.5m
ROM YIELD SIGNS	3.5m
ROM TRANSIT ZONES	3.5m*

ROM OTHER SIGNS	2.0m
ROM PRIVATE PROPERTY ON WALKWAY RC	W2.0m
ROM PRIVATE PROPERTY ON OPEN PARKLA	AND3.0m
ROM PRIVATE PROPERTY ON BOULEVARDS	1.0m
ROM SHALLOW UNDERGROUND UTILITIES	1.0m
ROM GAS OR OIL ROW CONTACT U	JTILITY
ROM DEEP UNDERGROUND UTILITIES	1.5m
ROM SANITARY AND STORM SEWERS	1.8m
O SANITARY & STORM SEWERS & MANHOLE	S 2.0m
ROM WATER MAINS	2.5m
EES DO NOT CREATE SIGHTLINE OBSTRUC	TIONS

FOR VEHICLES APPROACHING TRANSIT ZONES

TREES SHALL BE SETBACK A MINIMUM DISTANCE, MEASURED FROM THE CENTER OF THE TREE TRUNK, TO WALKWAY AND

IAL ROAD MEDIAN CURB FACE	2.0m*
CTOR ROAD MEDIAN CURB FACE	3.15m*
ROAD MEDIAN CURB FACE	2.6m*
IAL ROAD BOULEVARD CURB FACE	2.0-3.0m**
CTOR ROAD BOULEVARD CURB FACE	1.25m*
ROAD BOULEVARD CURB FACE	1.25m*
FRIAL COLLECTOR ROAD MEDIAN CURB F.	ACE 2.65m
FRIAL LOCAL ROAD MEDIAN CURB FACE	3.15m*
FRIAL COLLECTOR ROAD BLVD CURB FAC	E 1.65m
FRIAL LOCAL ROAD BOULEVARD CURB FA	CE 1.25m
ICE FROM DRIVEWAYS	1.5m
ICE FROM SIDEWALKS	1.0m

#### DESCRIPTION

DECORATIVE CONCRETE WALK

- ENTRANCE PLAZA
- PLANTING BED
- AMENITY AREA

#### BIKE RACK

MOLOK WASTE RECEPTACLE

NATURALIZED LANDSCAPE BUFFER

LOADING AREA

CANOPY ABOVE

- EXISTING TREE TO REMAIN AND BE PROTETED
- LANDSCAPE MEDIAN

SIGN

### LEGEND

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### SETBACK LINE CANOPY LINE BUILDING PLANTING BED NATURALIZED LANDSCAPE BUFFER DECORATIVE CONCRETE PAVER DECORATIVE CONCRETE WALK ROAD AND PARKING MOLOK BIN **BIKE RACK** SIGN TRANSFORMER PEDESTRIAN LIGHT

PROPERTY BOUNDARY

#### Revisions

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Project

### COURTYARD MARRIOTT - KELOWNA

#### 3508 FLEET CT

Project No.

633-003

### Drawing Title

### SITE DEVELOPMENT PLAN



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### PLANTING SCHEDULE

	QTY	COMMON NAME
)	15	BIG LEAF MAPLE
	7	PAPER BIRCH
and	6	AUTUMN PURPLE WHITE ASH
10	10	SIBERIAN LARCH
6	QTY	COMMON NAME
	108	GOLD PLATE FERNLEAF YARROW
	62	GOLDEN NUGGET JAPANESE BARBERRY
	227	KARL FOERSTER FEATHER REED GRASS
	96	ARCTIC FIRE RED TWIG DOGWOOD
	88	CONEFLOWER
	58	BURNING BUSH
	42	STELLA DE ORO DAYLILY
	102	PURPLE EULALIA GRASS


DWARF MUGO PINE

BRANDON ARBORVITAE 57

LEGEND

	PROPERTY BOUNDARY
	SETBACK LINE
	CANOPY LINE
	BUILDING
·#	PLANTING BED
	NATURALIZED LANDSCAPE BUFFER
	DECORATIVE CONCRETE PAVER
2	DECORATIVE CONCRETE WALK
	ROAD AND PARKING
$\bigcirc$	MOLOK BIN
ww	BIKE RACK
	SIGN
Π	TRANSFORMER
	PEDESTRIAN LIGHT

#### Revisions

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-		
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Project

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3508 FLEET CT

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Drawing Title

PLANTING PLAN



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### **IRRIGATION NOTES**

- 1. IRRIGATION IS DESIGN BUILD, PROVIDING 100% COVERAGE OF ALL LANDSCAPE AREAS. 2. WORK SHALL BE UNDERTAKEN BY AN EXPERIENCED IRRIGATION CONTRACTOR WITH AT LEAST 5 YEARS
- EXPERIENCE AND CERTIFICATION TO COMPLETE THE REQUIRED WORK OF THE CONTRACT. 3. ALL MATERIALS, HEADS, PIPING, VALVES, CONTROLLERS,
- WIRING, SHALL BE COMMERCIAL GRADE AND OF APPROVED MANUFACTURERS. 4. SPRINKLER HEADS AND CONTROLLER SHALL BE TORO OR
- RAINBIRD UNLESS OTHERWISE APPROVED BY THE OWNER'S REPRESENTATIVE. THE CONTRACTOR'S LAYOUT PLAN MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITY.
- THE CONTRACTOR'S PLAN SHALL INDICATE EXISTING AND PROPOSED LINES, AND INCLUDE CHANGES MADE TO EXISTING ZONES. THE LOCATION AND COORDINATION OF REMOVALS WILL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR.
- 8. THE CONTRACTOR'S PLAN SHALL INDICATE ZONES, HEADS, LINES AND VALVES. WHERE SLEEVING IS REQUIRED, THE PLAN SHALL INDICATE THE SIZE OF SLEEVE REQUIRED. THE SUPPLY AND INSTALLATION OF THE SLEEVES WILL BE BY OTHERS; HOWEVER THE COORDINATION OF SLEEVING SIZES AND LOCATION WILL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR.
- CONTROLLERS(S) SHALL BE FULLY PROGRAMMABLE ELECTRIC TIMED IRRIGATION CONTROLLERS SET TO CITY OF KELOWNA STANDARD IRRIGATION TIMES. THEY SHALL BE LOCATED IN THE MECHANICAL ROOMS OF THE RESPECTIVE BUILDINGS.
- 10. EITHER SINGULAR OR MULTIPLE CONTROLLERS ARE ACCEPTABLE, DEPENDENT ON THE IRRIGATION DESIGN REQUIREMENTS.
- 11. THERE WILL BE ONE WATER STUB-OUT AVAILABLE FOR WATER SUPPLY (1" DIAMTER), WATER IS METERED IN EACH OF THE RESPECTIVE BUILDINGS; PSI AT THE LINES ARE UNKNOWN. REFER TO ENGINEERING DRAWINGS. 12. AT MINIMUM, MAIN LINES SHALL BE PVC CLASS 150 AND
- POLY PIPE ON LATERAL LINES TO HEADS. 13. ALL WIRING TO BE BY THE IRRIGATION CONTRACTOR. WIRING THROUGH SLEEVES MUST BE CONTAINED IN A RIGID CONDUIT (PVC OR EQUAL). WIRING CONDUIT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR. 14. IT IS PREFERRED THAT IRRIGATION IS INSTALLED PRIOR TO LANDSCAPING. WHERE LINES ARE TRENCHED IN AFTER LANDSCAPING, IT SHALL BE THE IRRIGATION CONTRACTORS RESPONSIBILITY TO RESTORE DISTURBED
- SURFACES TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT. 15. ALL IRRIGATION WORK AND COMPONENTS SHALL BE WARRANTIED FOR 2 YEARS. MAINTENANCE OF THE SYSTEM
- SHALL BE INCLUDED FOR THAT 2 YEARS AND SHALL INCLUDE 2 WINTERIZATION AND 2 SPRING SYSTEM START UPS. 16. OPERATION MANUAL FOR THE FULL OPERATION OF THE
- SYSTEM SHALL BE PROVIDED TO THE OWNER. 17. THE ZONES IDENTIFIED ON THIS PLAN ARE FOR REFERENCE ONLY. THE IRRIGATION CONSULTANT SHOULD REVIEW THE PLANTING PLANS AND DESIGN THE MOST EFFICIENT SYSTEM BASED ON THE SELECTED PLANT MATERIAL.

### LEGEND

	PROPERTY BOUNDARY
	SETBACK LINE
	CANOPY LINE
	BUILDING
. Ш. — — — — — — — — — — — — — — — — — —	PLANTING BED
	NATURALIZED LANDSCAPE BUFFER
	DECORATIVE CONCRETE PAVER
4 4 4 4 7	DECORATIVE CONCRETE WALK
	ROAD AND PARKING
$\bigcirc$	MOLOK BIN
ww	BIKE RACK
	SIGN
	TRANSFORMER
	PEDESTRIAN LIGHT

#### Revisions

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-		
01	ISSUED FOR DP	2022.04.05
No.	Revision / Issued	yyyy.mm.dd

IT IS THE CONTRACTORS RESPONSIBILITY TO:

- USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING.
- VERIFY ALL DIMENSIONS AT THE SITE.
- REPORT ALL DISCREPANCIES TO THE LANDSCAPE
- ARCHITECT AND AGREE BEFORE PROCEEDING DETERMINE LOCATION OF ALL EXISTING SERVICES
- PRIOR TO EXCAVATION.

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS SIGNED BY THE LANDSCAPE ARCHITECT.

Stamps

Project

### COURTYARD MARRIOTT - KELOWNA

3508 FLEET CT

Project No.

633-003

Drawing Title

**IRRIGATION PLAN** 



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ARCHITECT.

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Project

3508 FLEET CT

Project No.

Drawing Title

**•** EDA

5307 - 47 St NW

T: 780 423-4990

E: info@edadesign.ca

www.edadesign.ca

T6B 3T4 Canada

Edmonton. Alberta

LANDSCAPE DETAILS

## 2022.04.05 01 ISSUED FOR DP Revision / Issued No. yyyy.mm.dd IT IS THE CONTRACTORS RESPONSIBILITY TO:

PRIOR TO EXCAVATION.

USE FIGURED DIMENSIONS IN PREFERENCE TO

REPORT ALL DISCREPANCIES TO THE LANDSCAPE

ARCHITECT AND AGREE BEFORE PROCEEDING DETERMINE LOCATION OF ALL EXISTING SERVICES

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION

**COURTYARD MARRIOTT - KELOWNA** 

Date

Scale

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Drawing No.

840

633-003

2020-04-05

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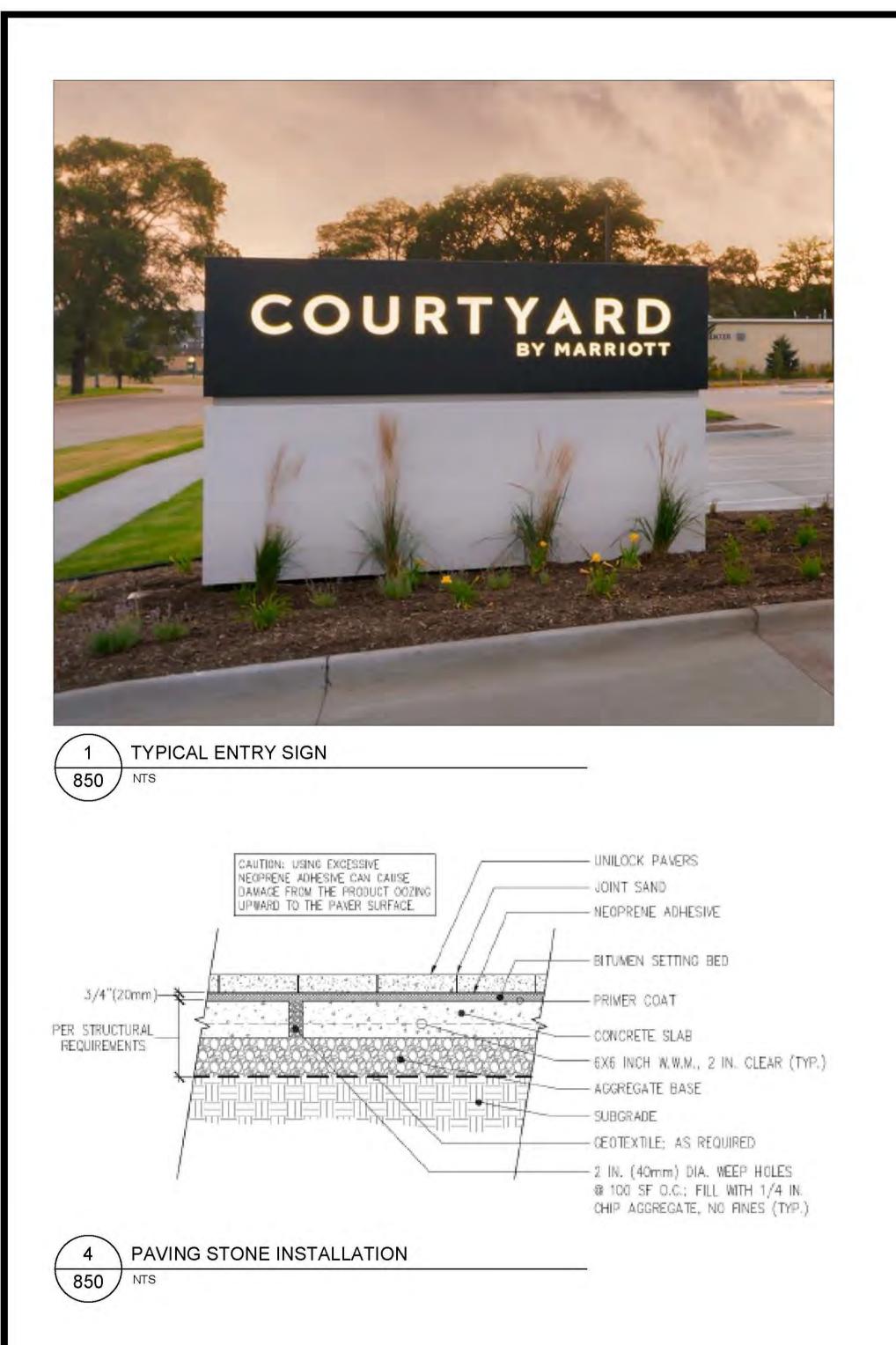
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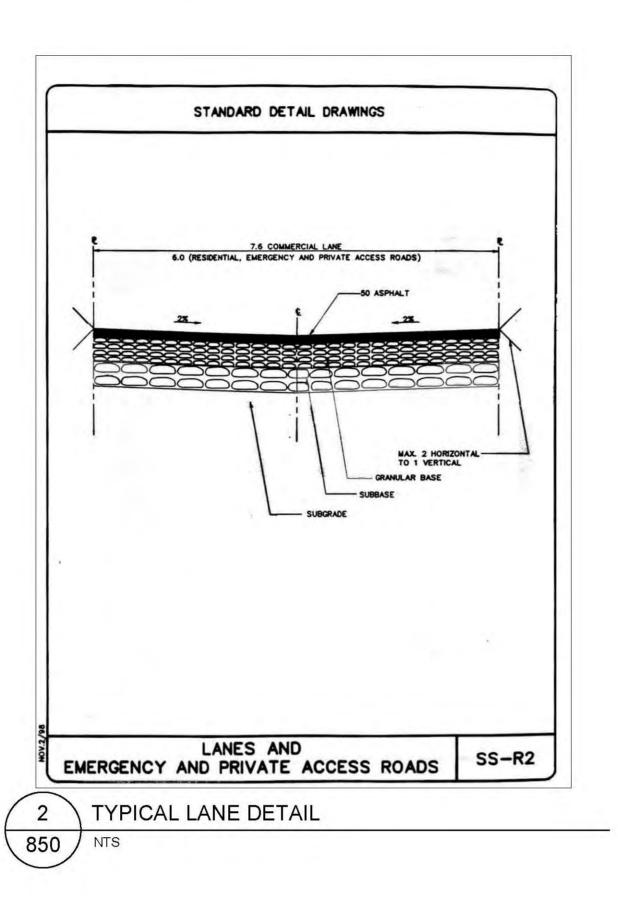
WP

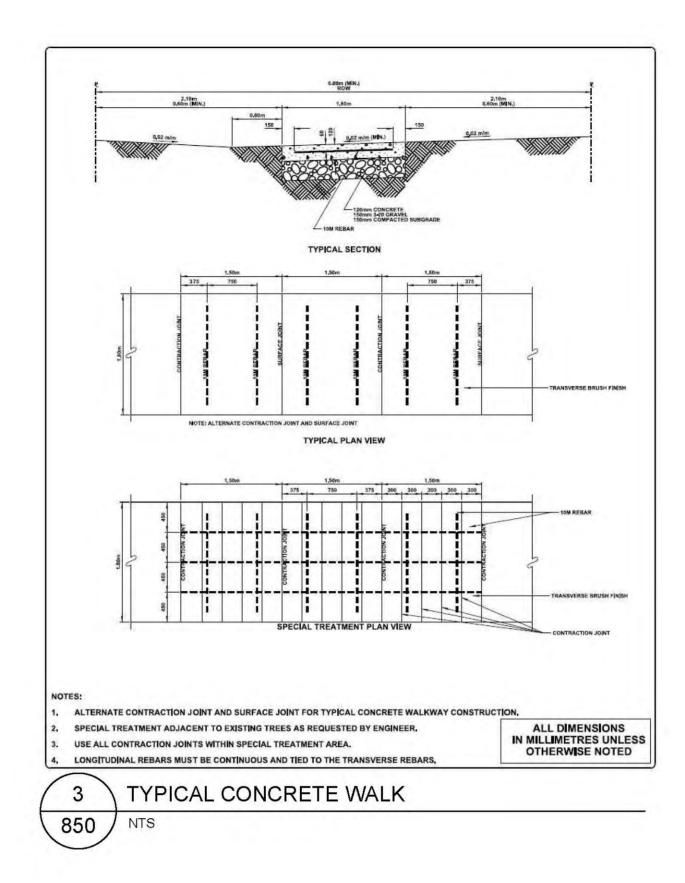
SCALING.

VERIFY ALL DIMENSIONS AT THE SITE.

PURPOSES UNLESS SIGNED BY THE LANDSCAPE







#### Revisions

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01	ISSUED FOR DP	2022.04.05
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- USE FIGURED DIMENSIONS IN PREFERENCE TO
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Stamps

Project COURTYARD MARRIOTT - KELOWNA

3508 FLEET CT

Project No.

Drawing Title

633-003

LANDSCAPE DETAILS

+\*\*\*\*\* EDA Plenning + Urben Design

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Date 2020-04-05 Scale AS NOTED Drawn by GB/TN Checked by WP

Approved by

WP

Drawing No.





Development Permit Rationale – 3508 Fleet Court, Kelowna BC.

Argus Properties Ltd. 300-1060 Manhattan Drive Kelowna, BC V1Y 9X9

### Marriott Courtyard



April 19<sup>th</sup>, 2022

City of Kelowna Development Planning Department 1435 Water St. Kelowna, BC V1Y 1J4

Attention: Wesley Miles, Planning Specialist/Approving Officer RE: Development Permit Rationale to Support OCP amendment (20-0003) and Rezone (Z20-0006)

Dear Wesley,

As requested by City of Kelowna Planning Staff we are providing a Development permit application to further advance and support the long overdue rezoning and OCP amendment of 3508 Fleet Court submitted on December 4<sup>th</sup>, 2019. As per our discussions, this project has seen several delays and we would appreciate the City of Kelowna working with us to expedite the process.

We welcome the opportunity to work with your team and look forward to the next steps in the process.

Yours truly,

ARGUS PROPERTIES LTD.

Tony Kudryk Director of Construction

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#### **INTRODUCTION**

Argus - A name synonymous with distinctive innovation and unsurpassed quality-is a fulldevelopment, construction, service property management, and hospitality leader in the Okanagan. For decades the professionals at Argus have been exceeding clients' expectations with specialized Based in Kelowna BC, our intimate service. understanding of the local market over a 50-year history is reflected in a varied and successful portfolio of businesses and property: industrial, office, retail, commercial, hotels, restaurants, multifamily residential and agricultural.

Argus is one of the most diversified and largest private companies supporting over 600 employees across the region.

#### **1.1 Argus Hospitality**

An industry leader in the hospitality field – Argus has a full-service hospitality management division built from a striving commitment to quality and user experience. Argus employs a full roster of in-house hospitality experts in a diversity of disciplines.

#### 1.2 Argus and the Gateway Area

Argus has been a significant business partner, investor and promoter of Kelowna International Airport area for over a decade.

- Over a half a million guests stays in the airport district.
- Generated more than \$9 million in tax revenue for the city in the airport district alone.
- Contributed over \$300,000 in YLW advertising over the last 5 years.
- Over \$ 2.3 million spent to promote the airport hotels at the Airport Business Park, and surrounding area.

In addition to our Hotel and commercial campus, we have a large industrial portfolio in this area containing seven industrial buildings.





#### APPLICATION RATIONALE

#### **1.3 Project History**

Argus Properties, over the past few years, worked diligently towards amending the OCP and rezoning our property at 3508 Fleet Court to C9 Tourist Commercial to allow for a newly proposed Marriot Courtyard, which includes a two-year delay due to the COVID-19 Pandemic.

Our original application was submitted in 2019 following the build out of the Hilton Hampton Inn & Suites in 2016. It was Argus' intention, at the time of the original submission in 2016 for 1665 Innovation Drive, to amend the OCP and Zoning for the complete group of adjoining properties, including 3480 and 3508 Fleet court, to support a Tourist Commercial zoning. This would have allowed for the creation of a hotel campus to further support tourism and travelers for the Kelowna International Airport and City of Kelowna as well as to provide critical population mass for additional commercial services like restaurants and cafes in the gateway area. It is our understanding that, at the time, planning staff were reluctant to submit a comprehensive OCP amendment and rezone for all 3 properties for council's consideration. As a result, only the OCP amendment and rezoning for only 1665 Innovation drive proceeded.

The pandemic had an extraordinary impact on the tourism and hospitality sector including hotels. While there were some initial delays, we have continued our discussions with city staff about moving forward and next steps on this project.

While some of the policy has since changed with the adoption of the Kelowna 2040 Official Community Plan, our goal remains the same; to revise the OCP and zoning to allow for a hotel and to move towards requirements to develop a Marriott Courtyard on this property. Based on the extended timelines and the challenges due to the pandemic, and understandable back logs with the city as the new 2040 OCP was being adopted, this project has seen some significant delays.





#### **DETAILS**

#### **1.4 Project Overview**

Argus properties has proposed the development of a Marriott Couryard Hotel for the Airport Business Park located at 3508 Fleet Court, in our existing hotel campus. This Gateway location has close adjacencies to Airport Way and Innovation Drive as well as to the Hampton Inn and Suites by Hilton and the Four Points by Sheraton. The addition of a Courtyard by Marriot will complete the hotel offering at this location by providing three options for travelers and will support the creation of more food and beverage offerings in the Gateway area. Given that the City of Kelowna has recently selected a candidate for a hotel on airport lands, our proposed project, over 2 years instream prior to the Airport Hotel Expression of Interest, will clearly support an identified need in the area.

#### **1.5 Supporting the Community**

Tourism in Kelowna is supported by promoting the Okanagan to other markets and having sufficient quality hotel options in a number of areas, both of which are specialties of the Argus Hospitality group. Prior to the pandemic, tourism in Kelowna may have been somewhat self-sustaining. Hospitality and tourism, noteworthy drivers of the local economy, have suffered significant losses over the past two years. Hotels are required as critical infrastructure in the support of most tourism opportunities and as a result should be prioritized to support local businesses.

Additionally, the population of the region has exceeded even the most generous estimates considered by the OCP. While multi-family and housing are local priorities, commercial, hotel and other businesses are required to support the expanding population moving to the region.

Hotels in the gateway area support both people traveling to the region's only international airport as well as visitors coming from many other areas as they make their way to the city. The gateway area is conveniently located to accommodate travelers as they arrive on long trips on Highway 97 north of the city.

Additional hotel rooms reduce reliance on Air B&B rentals, potentially freeing up short term rentals as opportunity for longer term rentals thereby supporting local housing challenges. Additionally, the adjacent hotels have provided invaluable support to the community by housing people displaced by wildfires and flooding as it offers quick links to many communities.





#### **PROJECT DESIGN & ARCHITECTURE**

The project architecture and site programing will follow the comprehensive Marriott brand guidelines and provide a first class offering similar to our two other award winning hotels, The Sheraton Four Points Kelowna and Hilton Hampton Inn & Suites.

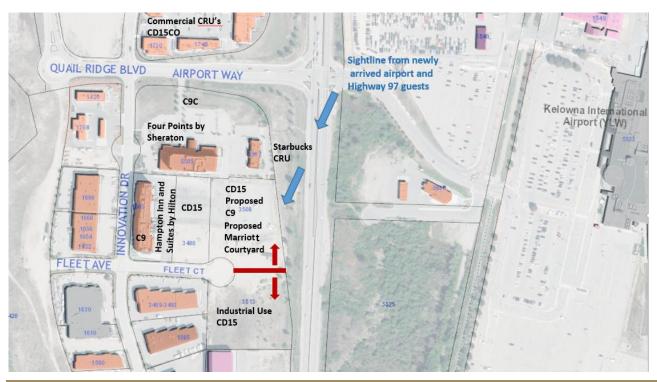
The clean exterior massing will enrich the existing pedestrian realm of the streetscape and will provide a modern visual focal point to anchor the hotel campus. The landscaping and site access will link the new Courtyard to the Sheraton Four Points Kelowna, Hilton Hampton Inn & Suites and the shops services to the North. The project will serve to enhance the visual corridor of Highway 97 at the gateway and will welcome newly arrived Airport travelers as they turn south on the highway towards the city.

The planned project is 6 storeys with 200 rooms and a ground floor fitness and food and beverage offering. The contemporary metal panel façade will contrast with the warmer heavier elements at the building base. The resulting human scale will be enhanced by both the weight and activation of the building at the ground level and the appearance of reduced mass with the lighter tones above.

Three season landscaping will further enrich the street scape. The new plantings will provide support ecology encouraging pollinators and providing additional habitat for avian species. All plant materials will be selected based upon drought tolerance, pollution tolerance and aesthetic value. Reducing turf area compounded with a drought tolerant planting pallet will lend itself well to reducing water demand for this development.

The hotel will offer electric vehicle charging and feature well connected and fully accessible paved walks. Marked pedestrian crossing through the parking lot will futher enhance the connectivity throughout the site. Strategically placed bike racks will be provided to support multi modal tranportation goals.





#### **CONVERSION OF INDUSTRIAL LANDS**

#### **1.6 Commercial and Hotel Adjacencies**

The conversion of use from Industrial to Commercial is logical in some site specific situations or in an area based approach like the new north end master planning occurring within the old Tolko site.

While Argus, as one of the City's largest industrial land developers with several industrial sites in this neighbourhood, is generally aligned with the preservation of industrial lands, we think the location of this site and its hotel adjacencies are such that an industrial use on this site would be awkward at best and at worst impact business to the two hotels close by and provide a poor introduction to the city by travelers arriving via the Kelowna international airport and highway 97.

This site is currently surrounded by commercial and tourist commercial uses. An industrial building and it's typically well utilized industrial site surrounded and overlooked by the adjacent hotels would create an incompatible use. An industrial use at this location such as commercial storage, manufacturing, fleet services, general industrial, mobile home sales, recycling depot, or warehouse etc. would not enhance the visitor experience of either our current hotel users, the adjacent commercial patrons, or new and international visitors to the city of Kelowna.

#### **1.7 Compatible Uses**

We propose that based on the natural division and our ability to visually separate a commercial lot at 3508 Fleet court from an industrial use to the south the best flow and site adjacencies for the area would be created by moving the Commercial/Industrial boundary as shown above. It would be significantly more difficult to separate 3508 & 3480 Fleet Court from the adjacent CRU and the 4 Points hotel, which is only meters away from the sites. Instead, we suggest the transition from Commercial to Industrial provides better separation of incompatible use where proposed.

There are many other locations in the city where commercial and industrial are adjacent and flourishing together, specifically, North End Downtown brewery area, along Enterprise Road, as well as Reid's Corner area. We believe it is more critical to review how the directly adjacent lots respond to one another and impact adjacent business and use.



#### ALIGNMENT WITH THE OFFICIAL COMMUNITY PLAN AND POLICY

Beyond enhancing guest stays a new Courtyard by Marriot aligns with the over-arching goals of the Official community plan in several ways. A few of which have been identified in the following

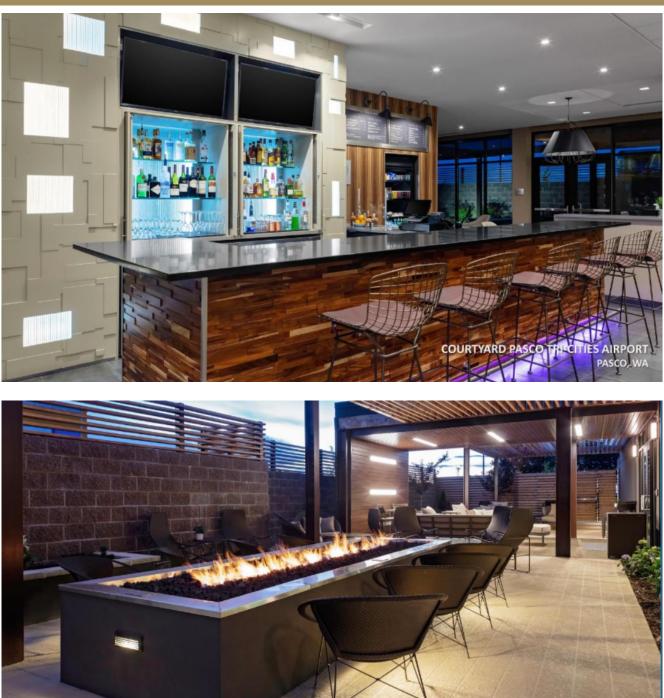
	Objectives and Supporting Policy	Project Alignment with Objectives
Objective 4.14.	Protect the rental stock in Urban Centres.	Hotel room availability helps protect rental stock in adjacent areas.
Policy 4.14.3	Short-Term Rentals. Ensure short-term rental accommodations limits impact on the long-term rental housing supply.	Providing sufficient hotel variety and space decreases reliance on Air B&B type accommodations. This allows more opportunity for some of the short term rental space to be converted to long term housing.
Policy 4.1.9.	Sequencing Development. Discourage development that would result in adjacent properties being unable to develop in a manner consistent with the objectives and policies of the Official Community Plan or relevant Urban Centre Plan.	Industrial use prescribed in the OCP is incompatible with the tourist commercial zoning previously granted to the surrounding sites. Encircled by hotels and the adjacent commercial space, industrial use would negatively impact adjacent commercial properties and business.
Policy 5.6.4.	Pedestrian Priority in Parking Lots. Create a safe and pleasant pedestrian experience in Regional Commercial lands with dedicated pathways that clearly delineate pedestrian space. Landscaping should be designed to maximize shade in the summer months.	The landscape is designed with shading in mind. Pedestrian connections for the entire hotel campus will be reviewed to improve access to adjacent hotels and commercial businesses.
Policy 5.6.5.	Protection of Commercial Space. Support the intensification of existing car-oriented sites on lands designated Regional Commercial by increasing the scale of existing buildings or by adding new commercial space on underutilized land, such as surface parking lots. Discourage development that reduces the amount of commercial space available in Regional Commercial lands.	The goal of this application is to intensify the utilization of a piece of land that is currently vacant as its CD15 zoning is incompatible. Allowing for a hotel on this site will not only densify this site but it will add critical mass to commercial patrons frequenting the adjacent businesses during evening and weekend hours when the CD15 adjacent businesses are inactive inspiring more development on adjacent lands.
Objective 6.3.	Support the strategic and planned growth of Kelowna International Airport as a regional economic generator.	A broad hotel mix adjacent to the airport directly supports the airport patrons.
Objective 6.5.	Encourage initiatives in the Gateway that supplement the local food system to increase food security, equitable access to healthy food and social connections.	Beyond the added food and beverage offering of this hotel, allowing for a hotel on this site will not only densify this site but it will add critical mass to commercial patrons frequenting the adjacent businesses during evening and weekend hours when the CD15 adjacent businesses are inactive inspiring more food and beverage offerings on adjacent lands.







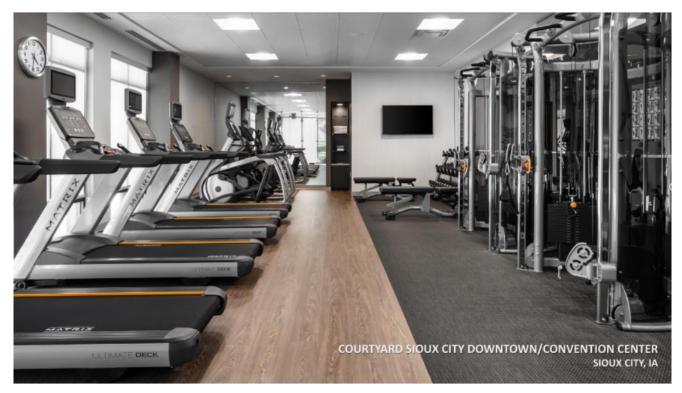




COURTYARD PASCO TRI-CITIES AIRPORT PASCO, WA





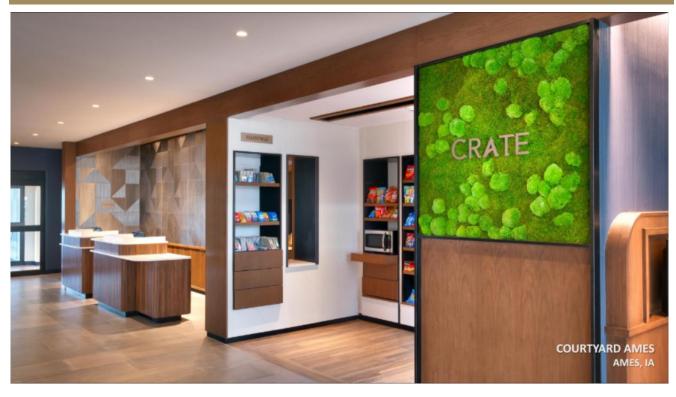




















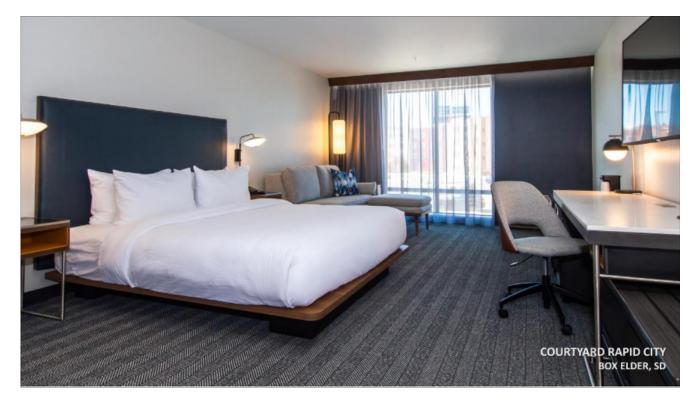




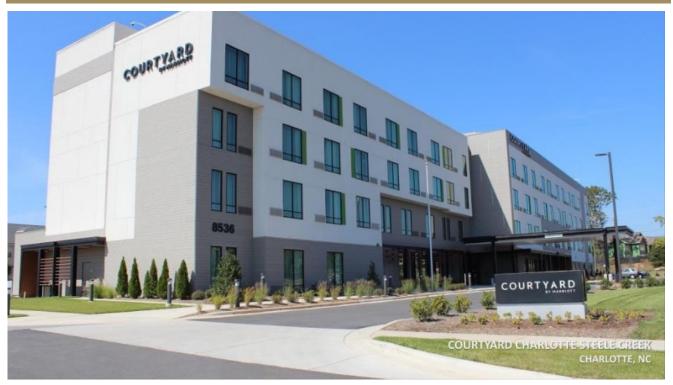


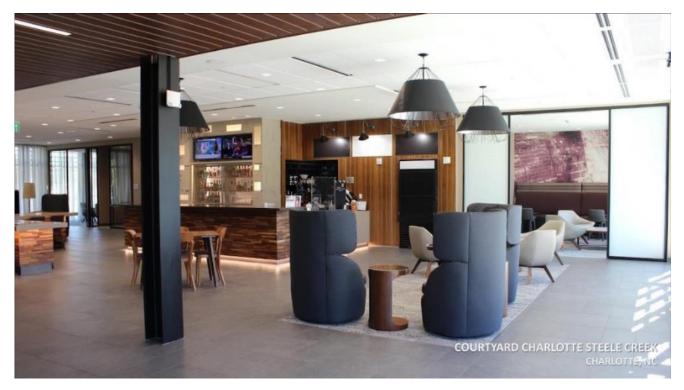




















#### Argus Hotel Portfolio



Four Points by Sheraton Kelowna Airport -In 2013, Argus opened Kelowna's first hotel at the airport with 120 rooms. The Gulfstream Restaurant and Lounge offers award winning cuisine and a large selection of local and international wines which have been given numerous awards of excellence by Wine Spectator. It has also been recognized as Kelowna's number one hotel. In 2022, Argus will be building a 55-room addition to the Sheraton Four Points. Hampton Inn & Suites by Hilton - Opened in February 2020, neighbouring the Sheraton, is the only Hilton product in the Central Okanagan. The Hampton includes 140 rooms, a saltwater pool & hot tub. In 2021 the Hampton won a Hilton Strong award for placing in the top 10% for guest surveys amongst all 5000 Hilton Hotels and brands. The Hotel was also awarded a TripAdvisor Certificate of Excellence for being within the top 10% of all hotels on TripAdvisor Marriott Courtyard – Argus is under contract with Marriott for a third hotel, a 200-room Courtyard by Marriott. We hope to achieve permitting soon. Since it first opened its doors more than 35 years ago, Courtyard by Marriott has been dedicated to creating an environment where great things can happen. Today, Courtyard is the hotel brand of choice for ambitious and enterprising guests who see business travel as a driver of personal fulfillment and professional growth.



Hotel Eldorado - This award winning Kelowna landmark boutique hotel dates back to 1926, and is approaching its 100<sup>th</sup> anniversary. The platinum award-winning (Community Votes 2021) hotel boasts Lakeside Dining, an award-winning Eldorado Bar & Whisky Room, and Boardwalk Dining with unparalleled Okanagan Lake and mountain views. Adjacent to the resort is Kelowna's Eldorado Marina and Boardwalk Beach Company offering an array of water activities. Manteo - Adjacent to the award winning Hotel Eldorado at Eldorado Resort, this hotel hosts 102 guest rooms, suites, and villas, and over 5,000 sq. ft. of Waterfront Meeting and Conference Facilities, Indoor and Outdoor Pools, Hot Tubs, Sauna, Fitness Centre, Tennis and Pickleball Court, Private Beach, and access to Eldorado Marina. Winning gold in 2021 for Community Votes and second only to the neighboring Hotel Eldorado. Home 2 Suites by Hilton - opened its doors in Fort St. Johns in August of 2016. This 90room all suite extended stay hotel offers variety of amenities and service to make even the longest stay feel like a home away from home. Home2 has been #1 on TripAdvisor since November 2016 with a 5-star rating. The hotel has been in top 10% for performance within all Home2 Suites by Hilton in North America since opening. And Best of Alaska Highway winner in hotel/motel category since 2017.





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